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MAY 21 2025

PLANNING BOARD

TOWN OF PUTNAM VALLEY PLANNING BOARD

Section 1 – To be completed by Planning Department Staff

- Site Plan File Number 2025-0013 Date 5-21-25
- Subdivision File Number _____ Date _____
- Site Development Plan File Number _____ Date _____
- Lot Line Realignment File Number _____ Date _____
- Special Use Permit File Number _____ Date _____
- Major Grading Permit File Number 2025-0013 Date 5-21-25
- Wetland Permit File Number 2025-0013 Date 5-21-25
- Ground and Surface Water District Permit File Number _____ Date _____

Section 2 – To be completed by Applicant

1. Tax Identification Number(s): 52.- 3 - 70
 2. Name of Project: Arrigoni Development
 3. Project Location: 824 Peekskill Hollow Road, Putnam Valley
 4. Nearest Intersection: Peekskill Hollow Rd./Wiccopee Rd./New Hill Rd.
 5. Zoning District(s): " C N "
 6. Name of Owner: Michael Arrigoni
- Address: 824 Peekskill Hollow Road, Putnam Valley, N.Y. 10579
- Phone Number: (914) 469-2115 Fax: Not Applicable
- Email: ArrigoniMike@Gmail.com

7. Name of Applicant (if different): Same As Property Owner
Address: _____
Phone Number: _____ Fax: _____
Email: _____

8. Name of Engineer/Architect: Jorge B. Hernandez, R.A. (ARQ Architecture, P.C.)
Address: 100 Executive Blvd., Suite 204, Ossining, New York 10562
Phone Number: (914) 944-3377 Fax: (866) 567-6240
Email: rjm@arqpc.com / jb@arqpc.com

Section 3 – To be completed by Applicant

- 1. Number of Lots Existing: One(1)
- 2. Number of Lots Proposed: One(1)
- 3. Is a Special Use Permit required? No
If so, What Type: N / A
- 4. Have any Zoning Variances Been Previously Granted No
- 5. Will the Project Require a Variance? No
If so, Explain: _____
- 6. Total Land Area: 1.34 Acres
- 7. Is the Site Currently Vacant? No
- 8. Number of Structures Existing On-Site: No
- 9. Number of Structures Proposed: One(1)
- 10. Type of Structures Proposed: Commercial / Auto Mechanic Repair
- 11. Are there Wetlands, Watercourses, or Waterbodies On-Site? No
If so, Describe: _____

12. Has a Wetland Screening Form Been Filed with the Building Department and Executed by the Town Wetland Inspector? Yes
13. Has a Wetlands Application Been Filed with Building Department? Yes
14. Are There Slopes On-Site That Exceed 20%? No
15. Has the applicant filed an application with the Putnam County Department of Health?
No
16. Has the applicant received approval from the Putnam County Department of Health?
No
17. What other approvals/permits are required? (ZBA, Town Highway, NYSDEC, ACOE, County Highway, etc.).
Town of Putnam Valley Building Dept. - Permit

Section 4 – To be completed by Applicant

1. Provide a Brief Narrative Describing the Proposed Project:

Proposed Construction of a new Commercial Building/Auto Mechanic Repair Facility

Below, please find a list of Planning Board Members and their consultants, and their employment, business, or professional affiliation. Please indicate, in the space below, the name of any Board Member or Consultant with whom you now have, or have had, a familial, business, or professional relationship, the nature of the relationship, and whether the relationship remains currently in effect. If the property owner (or applicant, if different from the owner) is a corporation, partnership, or other business entity, each owner of a one-third (or greater) interest in the business entity shall be considered an "applicant" for purposes of this information.

Planning Board Members

<u>Name</u>	<u>Business/Profession</u>
Dale Phillips	Director of Operations
Tom Carano	Mechanical Engineer
Patrick Lennon	Financial Professional
Anthony Williams	Business Owner
Mat Bruno	Risk Management
Anthony Lombardo	Project Manager

Planning Board Consultants

<u>Name</u>	<u>Title/Affiliation</u>
Todd Atkinson, P.E.	Town Engineer J. Robert Folchetti & Associates, LLC
Bruce Barber, PWS	Town Wetland Inspector, Town Planner Cornerstone Associates
Sarah Ryan, Esq.	Town Attorney

Please indicate the name of the Board Member or Consultant with whom you have, or have had, a familial, business, or professional relationship, the nature of the relationship, and whether the relationship remains currently in effect: _____

_____ None - Not Applicable _____

The undersigned hereby agrees to comply with all the rules and regulations of the Town of Putnam Valley and hereby agrees that the above information is true.

Further, the applicant understands that the Planning Board employs the services of outside Planning, Engineering, Wetland, and other consultants as needed, in the review of Planning Board applications. Project applicants are required and hereby agree to reimburse the Town for the fees of said consultants. An escrow account will be established and maintained for the payment of such fees upon receipt of a project application. The account will be maintained and supplemented, as needed, throughout the review process and, where, appropriate, during monitoring after project approval. See Town Board Resolution 05-58 for escrow authorization. A copy of the each consultant's fee schedule will be made available upon request.

In addition, the applicant understands that the members of the Planning Board and the Town's Consultants need to perform site visits to provide accurate and meaningful recommendation and hereby permit said individuals to enter, upon reasonable notice to the applicant and/or his or her authorized representative, the involved parcel(s) during the Planning Board review process and prior to the issuance of a Certificate of Occupancy.


Signature of Owner

April 17, 2025
Date

Michael Arrigoni

TOWN OF PUTNAM VALLEY PLANNING BOARD

Please take notice that an application submitted to the Planning Board must include the following items:

- Application fee and escrow (see attached schedule of fees).
- (5) Copies of the attached application form and submission checklist.
- (5) Copies of the deed/contract of sale.
- (5) Copies of authorization by owner(s) if applicant is represented by and agent or other representative.
- (5) Copies of the appropriate Environmental Assessment Form (EAF). It is the applicant's responsibility to prepare, for the Board's review and comment, all portions of the EAF, including Page 2 of the Short EAF and Parts 2 and 3 of the Full EAF.
- (5) Copies of previously granted variances (if applicable).
- (5) Copies of the Wetland Screening Form, executed by the Town Wetland Inspector
- If a Wetland Permit is required, (5) Copies of the Wetland Permit (as filed with the Building Department).
- (5) Copies of required plans, signed and sealed by a licensed professional (Subdivision Plan/Site Development Plan/Site Plan).
- (5) Copies of a Survey signed and sealed by a NYS licensed land surveyor (certified within the last two (2) years).
- (4) Copies of architectural elevations (front, side, rear) and floor plans signed and sealed by a licensed professional.

Please note that the Planning Board will provide copies of the Plans to the Town Engineer, Town Planner, Town Wetlands Inspector, Environmental Commission, the Advisory Board on Architecture and Community Appearance (ABACA), the Code Enforcement Officer, the Putnam Valley Highway Department, the Putnam Valley Fire Department, and the Putnam County Planning Department.

It is the applicant's responsibility to provide copies of the Plans to the Putnam County Department of Highways and Facilities, the Putnam County Department of Health, the New York State Department of Environmental Conservation (NYSDEC) and any other outside agency (if required).

PUTNAM VALLEY PLANNING BOARD

SUBMISSION CHECKLIST

(To be completed by Applicant's Design Professional)

- Name and address of applicant.
- Name and address of owner.
- Name and location of project.
- Tax Map Data (Section-Block-Lot).
- Total area of the project site (acres).
- Location map, at a scale of one inch equals 1,000 feet showing the applicant's entire property.
- Date of plan preparation and/or date of plan revision.
- Scale of Plan and North Arrow.
- The Putnam Valley Planning Board's General Notes (available in digital format upon request)
- All plans must be signed and sealed by a NYS licensed Engineer or Architect.
- Applicable note pertaining to the owner's review and concurrence with the Plan together with the owner's signature (see Town of Putnam Valley General Notes).
- Putnam Valley Planning Board approving language contained within a 4" wide by 2" high box to be located in the area of the title block (see Town of Putnam Valley General Notes).
- Putnam County Department of Health approving language contained within a 4" wide by 2" high box (subdivision only).
- Real Property Tax Certification, contained within a 4" wide by 2" high box, to be signed by the director of Real Property Taxes (subdivision only).
- Commissioner of Finance Certification, contained within a 4" wide by 2" high box, to be signed by the Commissioner of Finance (subdivision only).
- Submission of a Survey signed and sealed by a NYS licensed land surveyor (5 copies).

- Bulk Regulation Table indicating what is required in the underlying zoning district and what the applicant is proposing (lot-by-lot analysis).
- Illustration of zoning district boundaries.
- Existing structures, drainage systems, wells, septic systems, waterlines, and sewer lines within 200 feet of the subject property.
- Names and addresses of adjoining owners within 200 feet of the subject property (including those on the opposite side of the street).
- The location, size and use of all existing and proposed buildings and structures.
- Existing topography and proposed grade elevations of the project area at a contour interval of 2 feet, unless otherwise specified by the Planning Board. The applicant shall provide the source of the contour data.
- Soil types using data available from the Putnam County Soil Survey.
- The location, size and purpose of all existing easements, reservations, and areas to be dedicated.
- Proposed lot lines with accurate metes and bounds.
- Proposed limits of disturbance and clearing shall be illustrated on the Plan.
- A Tree Plan shall be prepared in conformance with §165-21.1 of the Zoning Code.
- General site conditions, including, but not limited to, orchards, landscaping, wooded areas, and other conditions that may impact the site.
- Flood elevations and boundaries of on-site floodplains and floodways.
- Existing lakes, ponds, streams (include stream classification), watercourses, wetlands, vernal pools, wetland buffers, and wet areas.
- Existing and proposed drainage ways and all drainage structures in and near the site and those which may be impacted shall be illustrated on the Plan.
- Terrain with slopes that are equal to or greater than 20% shall be illustrated on the Plan.

- X The location of all existing and proposed site improvements, including pavements, walks, curbing, drains, culverts, retaining walls, fences, parks, open space and recreation facilities, stonewalls and other stone structures.
- X The size and location of all existing and proposed off-street parking stalls shall be illustrated on the Plan, including loading areas and handicap stalls and signage.
- X Traffic circulation patterns shall be illustrated on the Plan using arrows.
- X Proposed road/driveway profiles including existing and proposed grades, centerline grades, vertical curves, utilities, drainage structures, and other improvements.
- _____ Illustration and description of the method of sewage disposal and location of such facilities.
- _____ Proposed water supply, either individual well designs or connection with an existing water supply system to provide water for domestic consumption and fire protection.
- X Architectural elevations (front, rear, side) and floor plans shall be submitted to the Planning Board for review (four copies).
- X The location, height, design and size of all temporary and permanent signs.
- X Identification of proposed landscaping and buffer screening areas, including a landscaping plan, and species and quantities of existing and proposed vegetation.
- X The location and design of lighting and security features.
- _____ The location and character of all power distribution and transmission lines.
- _____ The location and description of all subsurface site improvements and facilities.
- X A grading plan showing before and after contours. The plan should also show the extent and amount of cut and fill for all disturbed areas.
- X An Erosion and Sediment Control Plan shall be prepared in conformance with state requirements and shall include temporary and permanent methods of stabilization.
- X All stormwater facilities will be illustrated on the plan. Adequate provisions for the handling of stormwater runoff should be made to include retention/detention and piping or channeling to existing drainage systems (during and after construction).

_____ Soil testing for stormwater management facilities shall be performed (data sheets to be submitted).

_____ Soil testing for septic systems shall be performed (data sheets to be submitted).

X A drainage plan, including drainage calculations necessary to support the sizing of the proposed drainage structures and verifying that no adverse impacts to existing drainage will result. Watersheds and drainage structures, both upstream and downstream of the site must be considered. Proposed drainage structures shall be shown, including location, type, and size.

X Stormwater Pollution Prevention Plan (SWPPP), if required by the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit.

This checklist is provided as a guide and is for the convenience of the applicant. The Putnam Valley Planning Board may require additional notes or revisions prior to granting approval.

The undersigned agrees to the best of his or her knowledge, the submitted project plans have been prepared in accordance with this checklist.

By: _____
Design Professional

Date: April 17, 2025

PUTNAM VALLEY GENERAL NOTES

Unless otherwise instructed by the Planning Board or its consultants, the following notes shall appear on all Site Plans, Subdivision Plats and Site Development Plans (not required to be provided on every sheet)

Putnam Valley Notes

1. All improvements must be completed as shown on the approved plans. Any deviation from the approved Plans must be approved in accordance with Section 165-16C(2)(c) or 165-21C(2)(c) of the Town Code.
2. At all times the owner/operator shall maintain on-site a copy of the Planning Board's approving Resolution and approved Plans signed by the Chairman of the Planning Board.
3. The Town of Putnam Valley employs the services of outside Planning, Engineering, Wetland, and other consultants as needed, in the review and inspection of Planning Board applications. The owner/operator is required and hereby agrees to reimburse the Town for the fees of said consultants. An escrow account will be established and maintained for the payment of such inspection fees. The account will be established prior to commencement of work and shall be maintained and supplemented throughout the duration of construction to a date no less than 60 days after issuance of an unrestricted Certificate of Occupancy. Should the account balance be exhausted, all work shall cease until the account balance is supplemented to allow for future inspections.
4. If coverage under GP-0-15-002 is required, the owner/operator shall maintain on-site a copy of the General Permit (GP-0-15-002), Notice of Intent (NOI), NOI Acknowledgement letter, approved Stormwater Pollution Prevention Plan (SWPPP), MS4 SWPPP Acceptance Form, and inspection reports prepared by a qualified inspector.
5. If at any time during construction the Code Enforcement Officer, Planning Board, or its agents determine that construction is not taking place in conformance with the approved Plans, a stop work order shall be issued by the Code Enforcement Officer and all work shall cease except such work approved by the Code Enforcement Officer and/or Town Engineer to correct erosion and sediment controls.
6. Unless otherwise authorized by the Town Engineer, all erosion and sediment control measures shall comply with Chapter 102, Stormwater Management and Erosion and Sediment Control, of the Town Code and the latest edition of the "New York State Stormwater Management Design Manual."

7. Unless otherwise authorized by the Town Engineer, all stormwater management practices shall be designed to comply with Chapter 102, Stormwater Management and Erosion and Sediment Control, of the Town Code and the latest edition of the "New York State Stormwater Management Design Manual."
8. Prior to the commencement of work, all trees to be removed shall be identified in the field by use of a bright colored surveyor's ribbon. If any trees designated on the tree plan for preservation are removed without Planning Board approval, a Stop Work Order shall be issued by the Building Inspector and all work shall cease until a tree replacement plan, prepared in conformance with Section 165-21.1 of the Zoning Code, has been approved by the Planning Board and implemented to the Planning Board's satisfaction.
9. Prior to commencement of work, the limit of disturbance line, as shown on the approved Plans shall be staked by a licensed land surveyor and delineated in the field by use of an orange construction fence or approved equal. The construction fence shall remain installed and properly maintained throughout the duration of construction.
10. Prior to commencement of work, the owner shall call the Underground Line Location Service. The owner is responsible to locate and protect all above and below ground utilities throughout all phases of construction.
11. Electrical power, telephone, cable television, and other such utilities shall be installed underground.
12. Construction activities shall only take place between the hours of 8:00 a.m. and 8:00p.m. on weekdays and 9:00 a.m. and 7:00 p.m. on weekends and holidays.
13. All construction activities shall comply with Chapter 82-5C, Noise, of the Town Code.
14. Unless authorized by the Planning Board, blasting is prohibited.
15. Approval of these Plans does not constitute acceptance of land areas designated for dedication to the Town of Putnam Valley, if any.
16. The continued validity of a Certificate of Occupancy shall be subject to continued conformance with these Plans and the Planning Board's approving Resolution.

As-Built Survey Notes

1. Prior to the issuance of a Building Permit, the foundation location shall be surveyed located (by use of off-sets) by a NYS Licensed Land Surveyor and shall correspond to the approved Plans; correspondence from the surveyor shall be provided to the Building Department certifying the same.
2. Prior to framing, an as-built survey of the foundation shall be submitted to the Building Department. The survey shall be prepared by a NYS Licensed Land Surveyor, shall include elevations and property line setback dimensions to demonstrate compliance with these approved Plans, and shall be prepared to the satisfaction of the Town Engineer and Building Inspector.
3. The owner/operator shall submit an as-built survey of any stormwater management facility located on-site after final construction is completed. This survey must show the final design specification for all stormwater management facilities and must be certified by a NYS Professional Engineer.

Site Inspection Notes

1. Prior to commencement of work, a pre-construction meeting shall take place with the applicant, contractor, Building Inspector, Town Engineer, Town Planner, and other relevant parties, as determined necessary. At time of inspection, all erosion and sediment control measures and construction fencing shall be installed and all trees to be removed shall be marked with a bright colored surveyor's ribbon.
2. All improvements are subject to inspection by the Town and its agents without notification during the approval and construction process.
3. The Town of Putnam Valley Stormwater Management Officer may require such inspections as necessary to determine compliance with Chapter 102, Stormwater Management and Erosion and Sediment Control, and may either approve the portion of the work completed or notify the owner/operator wherein the work fails to comply with the requirements of Chapter 102 and the approved SWPPP. To obtain inspections, the owner/operator shall notify the Town of Putnam Valley enforcement official at least 48 hours before any of the following:
 - Start of construction.
 - Installation of sediment and erosion control measures.
 - Completion of site clearing.
 - Completion of rough grading.
 - Completion of final grading.
 - Close of construction season.
 - Completion of final landscaping.
 - Successful establishment of landscaping in public areas.

4. If coverage under GP-0-15-002 is required, the owner/operator shall retain the services of a qualified inspector and the qualified inspector shall conduct a site inspection at least once every seven (7) calendar days. Inspection reports shall be provided to the Planning Board and Building Department on a weekly basis and a copy of each report shall be kept on-site.
5. Prior to the issuance of a Certificate of Occupancy, a final site inspection shall be conducted with the property owner/applicant, contractor, Building Department, Town Engineer, Town Planner and other relevant parties. A Certificate of Occupancy shall not issue unless the Code Enforcement Officer has first received a written report from the Town Engineer, Town Planner and Town Wetland Inspector, as applicable, stating that all land development activities meet their satisfaction and that the site has been designed in accordance with the approved Plans.

Putnam Valley Site Specific Notes

1. The gross site area equals 1.34 acres.
2. Total site disturbance equals ____ acres.
3. According to the Tax Assessor, the subject site consists of the following tax parcel identification numbers: 52.- 3 - 70
4. Survey data shown hereon is taken from _____.
5. Topographic data shown hereon is taken from _____.
6. Soil boundaries shown hereon are taken from _____.
7. The subject site is located in the "C N" Zoning District.
8. The subject site is located in the Putnam Valley School District.
9. The subject site is located in the Putnam Valley _____ Overlay District(s).
10. The subject site is located in the _____ Watershed.

Signature Blocks

PLANNING BOARD APPROVAL

Approved by the Planning Board of the Town of Putnam Valley,
Putnam County, N.Y. by resolution dated _____

Any change, erasure, modification or revision to this Plan,
as approved, shall void this approval.

Signed this _____ day of _____ 20__

Planning Board Chairman

OWNER'S CERTIFICATION

The undersigned owner of the property shown hereon is familiar with this drawing(s),
its contents, and its legends and hereby approves the same.

Owners Name (Insert Name)
Owners Address (Insert Address)

Date

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

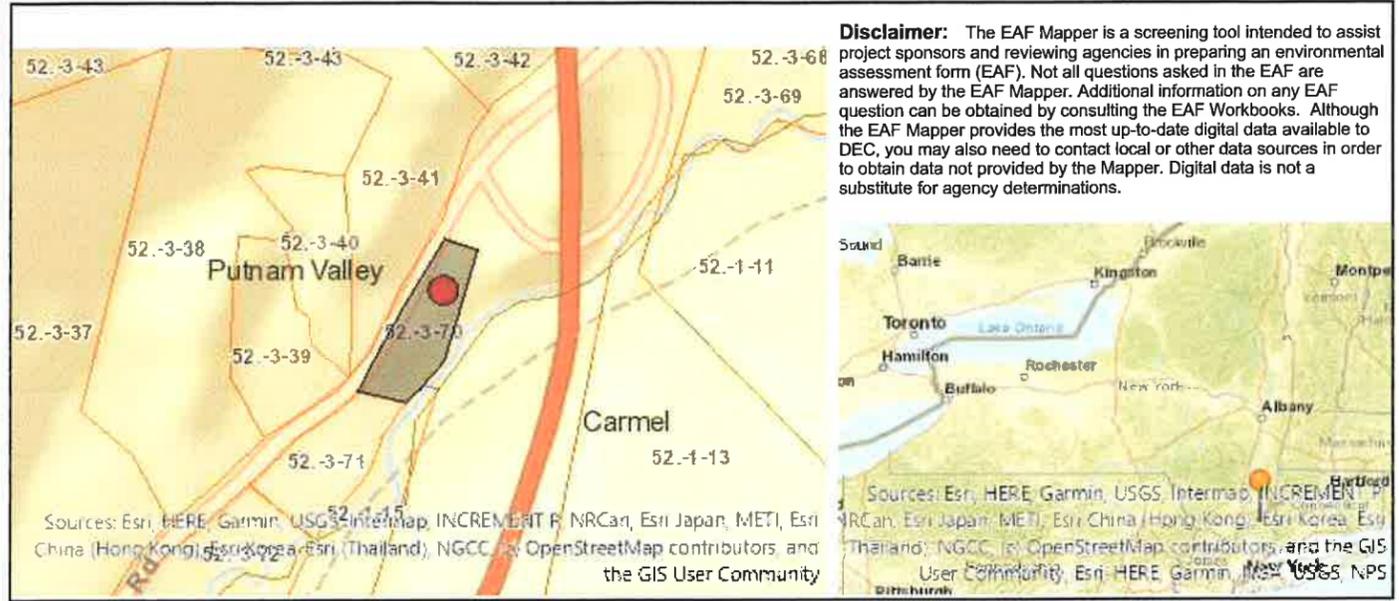
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Arrigoni Development			
Name of Action or Project:			
824 Peekskill Hollow Road, Putnam Valley			
Project Location (describe, and attach a location map):			
824 Peekskill Hollow Road, Putnam Valley (Nearest Intersection/Cross Street = Peekskill Hollow Rd/Wicoppee Rd/New Hill Road)			
Brief Description of Proposed Action:			
<p align="center"> RECEIVED MAY 21 2025 PLANNING BOARD </p> <p align="center">Proposed New Construction of Commercial/Auto Mechanic Building</p>			
Name of Applicant or Sponsor:		Telephone: (914) 944-3377	
Jorge B. Hernandez, R.A., A.I.A.		E-Mail: rjm@arqpc.com / jb@arqpc.com	
Address:			
ARQ Architecture, P.C., 100 Executive Boulevard, Suite 204,			
City/PO:	State:	Zip Code:	
Ossining	New York	10562	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval: Town of Putnam Valley Planning Board - Approval Town of Putnam Valley Building Dept. - Permit			YES
			<input type="checkbox"/>
			<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 1.34 acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.34 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ (*NOTE: Peekskill Hollow Creek is located behind the property. However, the proposed work will not interfere, encroach, disturb, or effect the Creek _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Timber Rattlesnake, Norther...	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Storm Water run-off and/or discharge will be directed to existing Town of Putnam Valley Storm Drainage System.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Jorge B. hernandez, R.A., A.I.A. (SPONSOR)</u> Date: <u>April 1, 2025</u> Signature: <u>Jorge B. Hernandez, R.A.</u> Title: <u>President</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Timber Rattlesnake, Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



Town of Putnam Valley
Planning Board
265 Oscawana Lake Road
Putnam Valley, New York 10579
(845) 526-3740

REFERRAL # 05

TO: P.C. Planning Department
FROM: Putnam Valley Planning Department
Michele Babnik
RE: Arrigoni/City Wide Auto
DATE: May 23, 2025

The subject's property consists of +/- 1.34 acres of land and is located on 824 Peekskill Hollow Road, within the CN Zoning District. The applicant is proposing a 100 x 51 ft. commercial building. The applicant requires a Site Plan, Wetland and Major Grade Permit.

The Planning Department respectfully requests your approval under GLM 239M.

Sincerely,

Michele Babnik
Clerk to the Planning Board

Enc.
Copies of file



SECTION 239 CASE REFERRAL

Case Received: 5-27-2025 Report Required: 6-27-2025 Completed: 5/29/2025

Application Name: Arrigoni/City Wide Auto Referral #: 25-PC-53

TOWN: Carmel: Philipstown: VILLAGE: Brewster:
Kent: Putnam Valley: Cold Spring:
Patterson: Southeast: Nelsonville:

Referred by: PB: ZBA: Town Board: Historic District Review Board:

Location of Project: 824 Peekskill Hollow Rd

Present Zone: CN Tax Map #: 52.-3-70

Type of action: Variance: Zoning Ordinance: Master Plan:
Subdivision: Special Use Permit: Subdivision Regulations:
Site Plan: Rezoning: Certificate of Appropriateness:
Zoning Amendment/Interpretation:

DECISION BY COUNTY:

Approved as Submitted: Modification: Disapproved:

Basis for Decision Other than Approval:

Reviewed by: Barbara Barosa Barbara Barosa, AICP, Commissioner
(Signature) (Name & Title)



May 19, 2025

Mr. Dale Phillips, Chairman
PLANNING BOARD
Town of Putnam Valley
265 Oscawana Lake Road
Putnam Valley, New York 10579

RE: 824 Peekskill Hollow Rd., Putnam Valley
(S/B/L: 52. - 3 - 70, Zoning District: " C N ")

Dear Mr. Phillips & Honorable Members of the Planning Board,

As it relates to the aforementioned property location, we appear before the Board this evening on behalf of our Client, Mr. Michael Arrigoni, seeking Site Plan approval for the proposed construction of a new commercial building encompassing a secure Storage Facility for towed vehicles. The property is situated in the CN Zoning District, and is located near the South-bound Entrance Ramp of The Taconic State Parkway.

The new Building will include a Mezzanine Level for Customer Service, and the Main Garage. The Proposed 1st floor will accommodate office space for Owner/Management, as well as a small computer room for CCTV monitoring equipment, and a bathroom.

Please accept our thanks and appreciation in advance for your time and consideration, as we look forward to the eventual approval of the proposed project. As always, should you or any of the Board Members have any additional comments, questions, and/or concerns, please feel free to contact our office at your earliest convenience.

Sincerely

Jorge B. Hernandez, RA
President

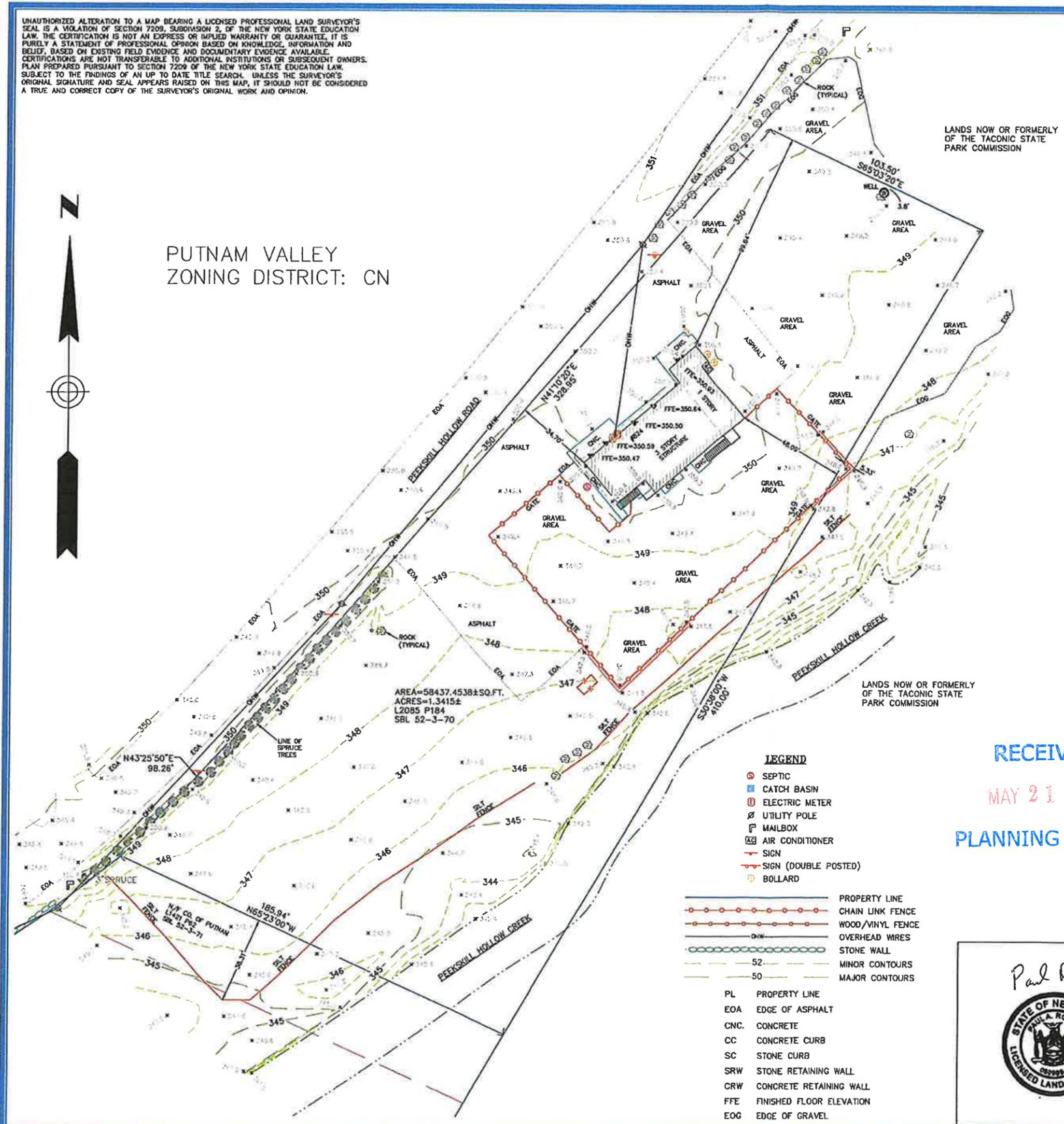
cc: Job No.: 24-195

RECEIVED
MAY 21 2025
PLANNING BOARD

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH, UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.



PUTNAM VALLEY
ZONING DISTRICT: CN

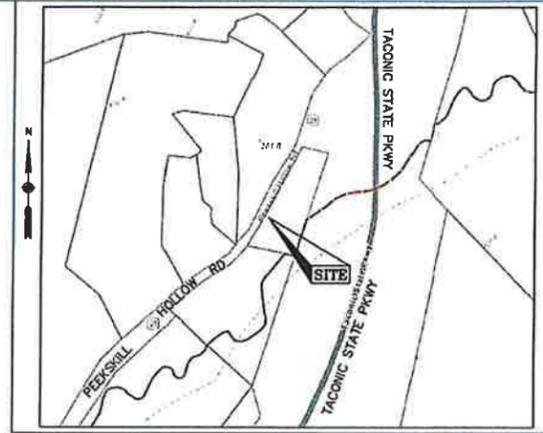


- LEGEND**
- SEPTIC
 - CATCH BASIN
 - ⊕ ELECTRIC METER
 - ⊕ UTILITY POLE
 - ⊕ MAILBOX
 - ⊕ AIR CONDITIONER
 - SIGN
 - SIGN (DOUBLE POSTED)
 - BOLLARD
 - PROPERTY LINE
 - CHAIN LINK FENCE
 - WOOD/VINYL FENCE
 - OVERHEAD WIRES
 - STONE WALL
 - 52 MINOR CONTOURS
 - 50 MAJOR CONTOURS
 - PL PROPERTY LINE
 - EOA EDGE OF ASPHALT
 - CNC CONCRETE
 - CC CONCRETE CURB
 - SC STONE CURB
 - SRW STONE RETAINING WALL
 - CRW CONCRETE RETAINING WALL
 - FFE FINISHED FLOOR ELEVATION
 - EOG EDGE OF GRAVEL

LANDS NOW OR FORMERLY OF THE TACONIC STATE PARK COMMISSION

LANDS NOW OR FORMERLY OF THE TACONIC STATE PARK COMMISSION

AREA=58437.4538±SQ.FT.
ACRES=1.3415±
L2085 P184
SBL 52-3-70



LOCUS MAP
(N.T.S.)

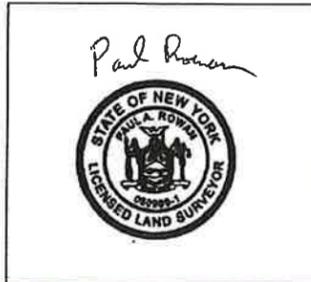
SURVEY NOTES

- THIS PLAN WAS PREPARED FROM AN ON THE GROUND SURVEY CONDUCTED BY RLS ON SEPTEMBER 20, 2024 AND ON THE FOLLOWING DATUM—
MERIDIAN: L2085 P184
HORIZONTAL: ASSUMED
VERTICAL: SCALED AS PER NGS QUADRANGLE MAPPING
- REFERENCES
STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS—
A. LAND CONVEYED TO PEEKSKILL HOLLOW PRESERVE, INC BY DEED BOOK 2085 PAGE 184, FILED IN THE PUTNAM CO. CLERKS OFFICE ON JULY 26, 2018.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
- THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. [OR] WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.
- OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES ARE SURVEY REFERENCES ONLY, AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE.

RECEIVED

MAY 21 2025

PLANNING BOARD



TOPOGRAPHY SURVEY
824 PEEKSKILL HOLLOW ROAD
PUTNAM VALLEY & CARMEL, NEW YORK
PREPARED FOR
CITYWIDE AUTOMOTIVE & TOWING

ROWAN LAND SURVEYING, PLLC
330 OLD ALBANY POST ROAD
GARRISON, NY 10524
914 815 3986
rowanlandsurveying@outlook.com

Drawn By	PR	Date	SEPTEMBER 25, 2024	Job No.	024-096
Surveyed By	PR	Scale	1" = 30'	Sheet No.	1 OF 1

June 6, 2025

Town of Putnam Valley Planning Board
Mr. Dale Phillips, Chairman
265 Oscawana Lake Road
Putnam Valley, New York 10579

Re: *Arrigoni Development, 1st Review*
Tax ID#: 52.-3-70
JRFA Job #035000759
TPV PB File # 2025-0013

Dear Chairman Phillips and Members of the Board:

Our office has received and reviewed the following documents submitted for the above referenced project, prepared by ARQ Architecture P.C.:

- “Cover Sheet”, Sheet T-100, dated January 29, 2025.
- “Putnam Valley General Notes”, Sheet T-101, dated January 29, 2025.
- “Exist. & Proposed Site Plan”, Sheet S-100, dated January 29, 2025.
- “Proposed First & Mezzanine Plan”, Sheet A-100, dated January 29, 2025.
- “Proposed Second & Roof Plan”, Sheet A-101, dated January 29, 2025.
- “Proposed Elevations”, Sheet A-200, dated January 29, 2025.
- “Proposed Elevations”, Sheet A-201, dated January 29, 2025.
- “Proposed 3D Views”, Sheet A-201, dated January 29, 2025

- “Topography Survey”, dated September 25, 2024, prepared by Rowan Land Survey PLLC.

Project Description

The subject property comprises +/-1.34 acres and is located at 824 B Peekskill Hollow Road near Taconic State Parkway, within the CN Neighborhood Commercial District. The applicant is proposing to develop a lot with an existing 3 story building including an auto service facility, office and apartment building and construct a new commercial building / auto repair facility.

Required Approvals

- Site Plan Approval is required from the Planning Board.
- A Major Grading permit is required from the Planning Board.
- A Ground and Surface Water Protection permit is required from the Planning Board.
- A public hearing is required to be held on the Site Development Plan.
- Variance required from Zoning Board for front yard setback.
- Highway Opening Permit required from Town Highway Superintendent.
- PCDOH approval is required for septic and well.

Based on our review of the submitted documents, we offer the following comments, which may warrant discussion with the applicant and/or action by the Board:

Engineer Review

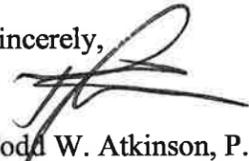
1. Application must include copies of the Wetland Screening Form, executed by the Town Wetland Inspector.
2. Plans should include a location map, at a scale of one inch equals 1,000 feet showing the applicant's entire property.
3. All references to GP-0-15-001 in the notes should be changed to GP-0-25-001.
4. Application must include copies of a topographic and planimetric Survey signed and sealed by a NYS licensed land surveyor (certified within the last two (2) years). Reduced size copy provided.
5. Plan should include applicable note pertaining to the owner's review and concurrence with the Plan together with the owner's signature (see Town of Putnam Valley General Notes).
6. Putnam Valley Planning Board approving language contained within a 4" wide by 2" high box to be located in the area of the title block (see Town of Putnam Valley General Notes).
7. Bulk Regulation Table should include existing conditions.
8. Plan should include existing structures, drainage systems, wells, septic systems, waterlines, and sewer lines on and within 200 feet of the subject property.
9. Plan should include the names and addresses of adjoining owners within 200 feet of the subject property (including those on the opposite side of the street).
10. Plan should include the site soil types using data available from the Putnam County Soil Survey.
11. Proposed limits of disturbance and clearing shall be illustrated on the Plan. Total area of disturbance should be noted.
12. A Tree Plan shall be prepared in conformance with §165-21.1 of the Zoning Code.
13. Flood elevations and boundaries of on-site floodplains and floodways shall be illustrated on the Plan.
14. The size and location of all existing and proposed off-street parking stalls shall be illustrated on the Plan, including loading areas and handicap stalls and signage. Required and proposed parking spaces calculation should be provided.
15. Plan should include proposed road/driveway profiles including existing and proposed grades, centerline grades, vertical curves, utilities, drainage structures, and other improvements.
16. Plan should include an illustration and description of the method of sewage disposal and location of such facilities.
17. Proposed water supply, either individual well designs or connection with an existing water supply system to provide water for domestic consumption and fire protection should be shown on the Plan.
18. Plan should include the location, height, design and size of all temporary and permanent signs.
19. Plan should include identification of proposed landscaping and buffer screening areas, including a landscaping plan, and species and quantities of existing and proposed vegetation.
20. The location and design of lighting and security features should be shown on the Plan.
21. The location and character of all power distribution and transmission lines should be shown on the Plan.

22. A grading plan showing before and after contours should be submitted. The plan should also show the extent and amount of cut and fill for all disturbed areas.
23. An Erosion and Sediment Control Plan shall be prepared in conformance with state requirements and shall include temporary and permanent methods of stabilization.
24. All stormwater facilities will be illustrated on the plan. Adequate provisions for the handling of stormwater runoff should be made to include retention/detention and piping or channeling to existing drainage systems (during and after construction).
25. Soil testing for stormwater management facilities shall be performed (data sheets to be submitted).
26. Soil testing for septic systems shall be performed (data sheets to be submitted).
27. A drainage plan should be provided, including drainage calculations necessary to support the sizing of the proposed drainage structures and verifying that no adverse impacts to existing drainage will result. Watersheds and drainage structures, both upstream and downstream of the site must be considered. Proposed drainage structures shall be shown, including location, type, and size.

This information is based on my review of the documents submitted. Additional review comments may be provided throughout the process as the application is evaluated. Written responses to these comments **MUST BE PROVIDED** with any future submittals.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,



Todd W. Atkinson, P.E.
Town Engineer

TWA/jac

cc: Sarah Ryan, Esq. (via email)
Bruce Barber (via email)
Rich Quaglietta (via email)
Shawn Keeler (via email)
Applicant
File



Cornerstone Associates

Environmental Planning Consultants

1770 Central Street

Yorktown Heights, NY 10598

Phone: (914)-299-5293

June 7, 2025

To: Planning Board

From: Bruce Barber

Town of Putnam Valley Environmental Planning Consultant

RE: **Arrigoni Development Application**

824 Peekskill Hollow Road

Tax Map: Section 52 Block 3 Lot 70

File: 2025-0013

Dear Chairman Phillips and Members of the Planning Board:

As per your request, I have reviewed the following pertinent documents submitted relative to the above referenced application:

1. Town of Putnam Valley Planning Board Application executed by Michael Arrigoni dated 04/17/25.
2. Transmittal letter executed by Jorge B. Hernandez, R.A. dated 05/19/25, 1 page.
3. Short-form EAF (Parts I) executed by Jorge B. Hernandez, R.A. dated 04/01/25.
4. Copy of Deed dated 07/16/18.
5. Agency letter dated 04/17/25,
6. Property survey prepared by Rowan Land Surveying dated 09/24/24, 1 sheet.
7. Plans entitled; "Proposed Secure Vehicles Storage Building" prepared by ARQ Architects, dated 01/29/25, 7 sheets: T-100, T-101, S-100, A-100, A-101 A-201, A-202.

1: Project Summary:

The applicant proposes to construct a new building encompassing a secure Storage Facility for towed vehicles. The new building will include a mezzanine level for customer service, first-floor office space for owner/management as well as a small computer room for CCTV monitoring equipment, and a bathroom.

Property Size: 1.348+/- acres

Zoning District: CN (neighborhood commercial)

Land Disturbance/Grading: Not indicated

Wetland/Buffer Disturbance: Yes (applicant indicates Peekskill Hollow Brook buffer, to be verified).

Tree Removal: TBD

Proposed Subdivision: No

Violations: No

2: Required Planning Board Permits/Approvals:

Site development plan approval

Wetland permit:

Major Grading permit.

Ground and Surface Water Protection approval

Hillside Management approval

Wetlands and Watercourse approval

* Tree permit. * TBD

* Special Use Permit: * TBD

Subdivision approval

Other:

3: SEQRA:

* Type I (Coordinated Review and Determination of Significance Required.) *
TBD

Type II (Additional Environmental Review Not Required).

Unlisted (Determination of Significance Required).

Short-form EAF Submitted: Part I Part II Part III
Date: 05/01/25

Long-form EAF Submitted: Part I Part II Part III
Date:

Other: _____

4: Zoning

* Zoning Compliant: the proposed use in the CN zone requires verification from the Town Building Inspector. A special use permit may be required. It is unclear if the proposed action would be considered an expansion of a pre-existing, non-

conforming use or also if the action constitutes two primary structures if located on the same lot (no separate tax lot).
A front yard setback variance is required.

5. Environmental Resources:

Wetlands: The Peekskill Hollow Brook is located on the easterly property border. The brook is listed in NYSDEC records as follows:

Stream Classification: C (TS)-trout spawning
Waterbody Inventory/Priorities Waterbodies List: Yes

Additionally, the subject site is listed in the NYSDEC records containing the following:

Previously mapped freshwater wetlands
Informational Freshwater Wetland Mapping
National Wetland Inventory

The applicant should submit a Jurisdictional Request determination from the NYSDEC as there are substantial watercourse and wetlands identified in NYSDEC resources. Additionally, a wetland delineation needs to be conducted on the site in compliance Chapter 144 "Freshwater Wetlands, Watercourses and Waterbodies" requirements including providing an NRCS soils map and the flood plain line on the site.

Trees: Information is not provided. The applicant should submit a tree survey and indicate regulated trees that are proposed to be cut.

Soils: Information is not provided. Please provide an NRCS soil map.

Threatened/Endangered Species: Timber rattlesnake, Northern Long-Eared bat. Further information is required. Restrictions in which tree cutting may be performed only from November 1 to March 31 of the following year may apply.

Well/Septic Systems: Well and septic system approvals are required from the Putnam County Department of Health (PCDOH).

Cultural/Historical Resources: None as per EAF.

6: Review:

Application Complete

Application Incomplete:

REVIEW ITEMS

1. Review by the Town Building Inspector is required to determine if the proposed action is an allowable use or a use in which a special use permit is required.

2. It is recommended that the Planning Board request the applicant submit a NYSDEC Jurisdictional Determination request for the proposed action.
3. A wetland delineation in compliance with the Town Code Chapter 144 is required.
4. Please complete the bulk zoning table.
5. NRCS soils map is required to be included in the plan set.
6. Flood plain lines are required to be included in the plan set.
7. Provide PCDOH approvals for the proposed use (wastewater discharge) and the well water system.
8. The adequacy of the proposed parking should be reviewed by the Town Engineer
9. Please provide an existing conditions plan sheet.
10. Please provide a tree plan and indicate regulated trees that are proposed to be cut.
11. Indicate on the plans that tree cutting will only be conducted between November 1 and March 31 of the following year.
12. Provide sight distances at proposed curb cut. Referral to the County Highway Superintendent is required.
13. Please indicate the location of trash enclosure on the site plan.
14. Provide security, lighting and landscaping plan.
15. Provide proposed sign details.
16. Please provide a topographic map of the site which will also identify steep slopes (in excess of 20%) and any rock outcroppings.
17. Provide grading plan.
18. Indicate impervious coverage area of the site.
19. Provide an erosion and sediment control plan and stormwater plan as per Chapter 66 of the town code and per the direction of the Town Engineer. The stormwater plan may require demonstration of no net increase in pollutant loading including thermal loading to Peekskill Hollow Brook.
20. Applicant must specifically detail how the proposed action will comply with Town Code Article VII "Environmental Management District Regulations."
21. Please provide signature blocks on all plan sheets. Include in the plans Putnam Valley general notes.
22. Indicate any structures, wells and septic systems and the names of property owners within 200' of the subject site.
23. Indicate all utility connections.
24. Additional information regarding the possible presence of timber rattlesnakes and the northern long-eared bat on or near the site is required.
25. All documents must be signed and dated.
26. A long-form EAF (Part I) is required to be submitted.
27. Indicate ADA parking and accessibility as applicable.
28. Building structure and fire suppression requirements should be included for the Town Building Inspector review.
29. The applicant should detail in an operations report what the pollutants from the proposed action are, how pollutants from the stored vehicles will be managed and contained, how spill emergencies will be addressed, and whether vehicles will ever be stored outside.
30. A 239-m referral to the Putnam County Planning Department is required.

The applicant is encouraged to provide annotated responses to the above questions. Further review of this application shall be conducted upon receipt of additional

information

Please do not hesitate to contact me should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be 'Bruce Barber', written in a cursive style.

Bruce Barber, AICP, PWS
Town of Putnam Valley Environmental Planning Consultant

February 6, 2026

Town of Putnam Valley Planning Board
Mr. Dale Phillips, Chairman
265 Oscawana Lake Road
Putnam Valley, New York 10579

Re: *Arrigoni Development, 2nd Review*
Tax ID#: 52.-3-70
JRFA Job #035000759
TPV PB File # 2025-0013

Dear Chairman Phillips and Members of the Board:

Our office has received and reviewed the following documents submitted for the above referenced project, prepared by ARQ Architecture P.C.:

- "Cover Sheet", Sheet T-100, revised January 9, 2026.
- "Putnam Valley General Notes", Sheet T-101, revised January 9, 2026.
- "Existing Site Plan and Existing Condition Images", Sheet S-100, revised January 9, 2026.
- "Proposed Site Plan, Zoning Table, Detail and Legends", Sheet S-101, revised January 9, 2026.
- "Proposed Maneuvering Plans", Sheet S-200, revised January 9, 2026
- "Proposed First & Second Floor Plans", Sheet A-100, revised January 9, 2026.
- "Proposed Mezzanine Floor, Attic and Roof Plans", Sheet A-101, revised January 9, 2026.
- "Proposed Elevations", Sheet A-200, revised January 9, 2026.
- "Proposed Elevations", Sheet A-201, revised January 9, 2026.
- "Proposed Sections", Sheet A-202, revised January 9, 2026.
- "Proposed Render Sections and 3D Views", Sheet A-203, revised January 9, 2026

Project Description

The subject property comprises +/-1.34 acres and is located at 824 B Peekskill Hollow Road near Taconic State Parkway, within the CN Neighborhood Commercial District. The applicant is proposing to develop a lot with an existing 3 story building including an auto service facility, office and apartment building and construct a new commercial building / vehicle storage facility and offices.

Required Approvals

- Site Plan Approval is required from the Planning Board.
- A wetland permit is required from the Planning Board.
- A Major Grading permit is required from the Planning Board.
- A Ground and Surface Water Protection permit is required from the Planning Board.
- A public hearing is required to be held on the Site Development Plan.
- Variance required from Zoning Board for front yard setback.
- Highway Opening Permit required from County Highway Superintendent.
- PCDOH approval is required for septic and well.

Based on our review of the submitted documents, we offer the following comments, which may warrant discussion with the applicant and/or action by the Board:

Engineer Review

1. Application must include copies of the Wetland Screening Form, executed by the Town Wetland Inspector.
2. Plans should include a location map, at a scale of one inch equals 1,000 feet showing the applicant's entire property.
3. All references to GP-0-15-001 in the notes should be changed to GP-0-25-001.
4. Application must include copies of a topographic and planimetric Survey signed and sealed by a NYS licensed land surveyor (certified within the last two (2) years).
5. Plan should include applicable note pertaining to the owner's review and concurrence with the Plan together with the owner's signature (see Town of Putnam Valley General Notes).
6. Putnam Valley Planning Board approving language contained within a 4" wide by 2" high box to be located in the area of the title block (see Town of Putnam Valley General Notes).
7. Bulk Regulation Table should include existing conditions.
8. Plan should include existing structures, drainage systems, wells, septic systems, waterlines, and sewer lines on and within 200 feet of the subject property.
9. Plan should include the names and addresses of adjoining owners within 200 feet of the subject property (including those on the opposite side of the street).
10. Plan should include the site soil types using data available from the Putnam County Soil Survey.
11. Proposed limits of disturbance and clearing shall be illustrated on the Plan. Total area of disturbance should be noted.
12. A Tree Plan shall be prepared in conformance with §165-21.1 of the Zoning Code.
13. Flood elevations and boundaries of on-site floodplains and floodways shall be illustrated on the Plan.
14. The size and location of all existing and proposed off-street parking stalls shall be illustrated on the Plan, including loading areas and handicap stalls and signage. Required and proposed parking spaces calculation should be provided.
15. Plan should include proposed road/driveway profiles including existing and proposed grades, centerline grades, vertical curves, utilities, drainage structures, and other improvements.
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17. Proposed water supply, either individual well designs or connection with an existing water supply system to provide water for domestic consumption and fire protection should be shown on the Plan.
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22. A grading plan showing before and after contours should be submitted. The plan should also show the extent and amount of cut and fill for all disturbed areas.
23. An Erosion and Sediment Control Plan shall be prepared in conformance with state requirements and shall include temporary and permanent methods of stabilization.
24. All stormwater facilities will be illustrated on the plan. Adequate provisions for the handling of stormwater runoff should be made to include retention/detention and piping or channeling to existing drainage systems (during and after construction).
25. Soil testing for stormwater management facilities shall be performed (data sheets to be submitted).
26. Soil testing for septic systems shall be performed (data sheets to be submitted).
27. A drainage plan should be provided, including drainage calculations necessary to support the sizing of the proposed drainage structures and verifying that no adverse impacts to existing drainage will result. Watersheds and drainage structures, both upstream and downstream of the site must be considered. Proposed drainage structures shall be shown, including location, type, and size.
28. Stormwater Pollution Prevention Plan (SWPPP), if required by the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit.

This information is based on my review of the documents submitted. Additional review comments may be provided throughout the process as the application is evaluated. Written responses to these comments **MUST BE PROVIDED** with any future submittals.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,

Todd W. Atkinson, P.E.
Town Engineer

TWA/jac

cc: Lillian Mead, Esq. (via email)
Bruce Barber (via email)
Rich Quaglietta (via email)
Shawn Keeler (via email)
Applicant
File



Cornerstone Associates

Environmental Planning Consultants
321 Fremont Street
Peekskill, New York 10566
Phone: (914)-299-5293

June 7, 2025
February 9, 2026 (revised)

To: Planning Board

From: Bruce Barber
Town of Putnam Valley Environmental Planning Consultant

RE: **Arrigoni Development Application**
824 Peekskill Hollow Road
Tax Map: Section 52 Block 3 Lot 70
File: 2025-0013

Dear Chairman Phillips and Members of the Planning Board:

As per your request, I have reviewed the following pertinent documents submitted relative to the above referenced application:

1. Plans entitled; "Proposed Secure Vehicles Storage Building" prepared by ARQ Architects, dated 01/09/26 (rev), 11 sheets: T-100, T-101, S-100, S-101, S-102, A-100, A-101 A-200, A-201, A-202, A-203.

NOTE: Revisions to the June 7, 2025 memo are found in **BOLD**.

NOTE: The applicant did not provide a comment response memo in response to the June 7, 2025 review memo prepared by this office. Therefore, this current review is limited to the above referenced plans

1: Project Summary:

The applicant proposes to construct a new building encompassing a secure Storage Facility for towed vehicles. The new building will include a mezzanine level for customer service, first-floor office space for owner/management as well as a small computer room for CCTV monitoring equipment, and a bathroom.

Property Size: 1.348+/- acres

Zoning District: CN (neighborhood commercial)

Land Disturbance/Grading: Not indicated

Wetland/Buffer Disturbance: Yes (applicant indicates Peekskill Hollow Brook buffer, to be verified). **02/09/26:** Partially complete. Town wetland boundary partially delineated (flood plain not shown).

Tree Removal: TBD

Proposed Subdivision: No

Violations: No

2: Required Planning Board Permits/Approvals:

Site development plan approval

Wetland permit:

Major Grading permit.

Ground and Surface Water Protection approval

Hillside Management approval

Wetlands and Watercourse approval

* Tree permit. * TBD

* Special Use Permit: * TBD

Subdivision approval

Other:

3: SEQRA:

* Type I (Coordinated Review and Determination of Significance Required.) *
TBD

Type II (Additional Environmental Review Not Required).

Unlisted (Determination of Significance Required).

Short-form EAF Submitted: Part I Part II Part III
Date: 05/01/25

Long-form EAF Submitted: Part I Part II Part III
Date:

Other: _____

4: Zoning

* Zoning Compliant: the proposed use in the CN zone requires verification from the Town Building Inspector. A special use permit may be required. It is unclear if the proposed action would be considered an expansion of a pre-existing, non-conforming use or also if the action constitutes two primary structures if located on the same lot (no separate tax lot).
A front yard setback variance is required. 02/09/26: Granted by ZBA,

5. Environmental Resources:

Wetlands: The Peekskill Hollow Brook is located on the easterly property border. The brook is listed in NYSDEC records as follows:

Stream Classification: C (TS)-trout spawning
Waterbody Inventory/Priorities Waterbodies List: Yes

Additionally, the subject site is listed in the NYSDEC records containing the following:

Previously mapped freshwater wetlands
Informational Freshwater Wetland Mapping
National Wetland Inventory

The applicant should submit a Jurisdictional Request determination from the NYSDEC as there are substantial watercourse and wetlands identified in NYSDEC resources. Additionally, a wetland delineation needs to be conducted on the site in compliance Chapter 144 "Freshwater Wetlands, Watercourses and Waterbodies" requirements including providing an NRCS soils map and the flood plain line on the site. 02/09/26: Partially complete. Flood plain line not indicated. Information from NYSDEC not submitted.

Trees: Information is not provided. The applicant should submit a tree survey and indicate regulated trees that are proposed to be cut.

Soils: Information is not provided. Please provide an NRCS soil map.

Threatened/Endangered Species: Timber rattlesnake, Northern Long-Eared bat. Further information is required. Restrictions in which tree cutting may be performed only from November 1 to March 31 of the following year may apply.

Well/Septic Systems: Well and septic system approvals are required from the Putnam County Department of Health (PCDOH).

Cultural/Historical Resources: None as per EAF.

6: Review:

Application Complete

Application Incomplete:

REVIEW ITEMS

1. Review by the Town Building Inspector is required to determine if the proposed action is allowable or a use in which a special use permit is required. 02/09/26: Not provided.
2. It is recommended that the Planning Board request the applicant submit a NYSDEC Jurisdictional Determination request for the proposed action. 02/09/26: Not provided.
3. A wetland delineation in compliance with the Town Code Chapter 144 is required. 02/09/26: Partially complete Flood plain line not shown.
4. Please complete the bulk zoning table. 02/09/26: Partial, Show open area, impervious surface, and coverage calculations.
5. NRCS soils map is required to be included in the plan set. 02/09/26: Not provided.
6. Flood plain lines are required to be included in the plan set. 02/09/26: Not provided.
7. Provide PCDOH approvals for the proposed use (wastewater discharge) and the well water system. 02/09/26: Not provided.
8. The adequacy of the proposed parking should be reviewed by the Town Engineer 02/09/26: Pending
9. Please provide an existing conditions plan sheet. 02/09/26: Partially complete. Flood plain line, soils, trees, and topography are not provided. Height of proposed retaining wall not provided.
10. Please provide a tree plan and indicate regulated trees that are proposed to be cut. 02/09/26: Not provided.
11. Indicate on the plans that tree cutting will only be conducted between November 1 and March 31 of the following year. 02/09/26: Not noted.
12. Provide sight distances at proposed curb cut. Referral to the County Highway Superintendent is required. 02/09/26:
13. Please indicate the location of trash enclosure on the site plan. 02/09/26: Complete
14. Provide security, lighting, and landscaping plan. 02/09/26: Partial. Landscaping provided.
15. Provide proposed sign details. 02/09/26: Not provided.
16. Please provide a topographic map of the site which will also identify steep slopes (in excess of 20%) and any rock outcroppings. 02/09/26: Not provided.
17. Provide grading plan. 02/09/26: Not provided.
18. Indicate impervious coverage area of the site. 02/09/26: Could not determine if provided.
19. Provide an erosion and sediment control plan and stormwater plan as per Chapter 66 of the town code and per the direction of the Town Engineer. The stormwater plan may require demonstration of no net increase in pollutant loading including thermal loading to Peekskill Hollow Brook. 02/09/26: Information not submitted.
20. Applicant must specifically detail how the proposed action will comply with Town Code Article VII "Environmental Management District Regulations." 02/09/26: Not provided.
21. Please provide signature blocks on all plan sheets. Include in the plans Putnam Valley general notes. 02/09/26: Partial. Signature blocks are not provided.

22. Indicate any structures, wells and septic systems and the names of property owners within 200' of the subject site. 02/09/26: Not provided.
23. Indicate all utility connections. 02/09/26: Not provided.
24. Additional information regarding the possible presence of timber rattlesnakes and the northern long-eared bat on or near the site is required. 02/09/26: Not provided.
25. All documents must be signed and dated. 02/09/26: Updated forms not provided.
26. A long-form EAF (Part I) is required to be submitted. 02/09/26: Not provided.
27. Indicate ADA parking and accessibility as applicable. 02/09/26: Provided.
28. Building structure and fire suppression requirements should be included for the Town Building Inspector review. 02/09/26: Pending
29. The applicant should detail in an operations report what the pollutants from the proposed action are, how pollutants from the stored vehicles will be managed and contained, how spill emergencies will be addressed, and whether vehicles will ever be stored outside. 02/09/26: Not provided.
30. A 239-m referral to the Putnam County Planning Department is required.

Additional Comment: 02/09/26:

Plan Sheet A-202, Detail Section B-B appears to show trucks (not cars) parked inside the structure. The applicant has indicated that the building will store cars. Further information is required regarding the proposed use of the building/site. See prior comments regarding the proposed use at #4 "Zoning", Review Items #1, 20 and 29 above.

This review was limited to the submission of a PDF copy of the above referenced plans. While it is possible that some/many of the items above listed as incomplete have indeed been satisfied, it is not possible to verify given the incomplete nature of this submission. Review of this project will continue at such time as the applicant provides a complete submittal including annotated responses to the above comments.

Please do not hesitate to contact me should you have any questions.

Sincerely,



Bruce Barber, AICP, PWS
Town of Putnam Valley Environmental Planning Consultant