

TOWN OF PUTNAM VALLEY REQUIREMENTS

BASIC DATA: ADDRESS: WILLIAMS DRIVE			
SECTION: 84, BLOCK: 2		LOT: 43	
ZONING DISTRICT: R2		PROPOSED USE: NEW RESIDENCE	
VARIANCE REQUIRED			
BULK REGULATIONS	REQUIRED/ALLOWABLE	EXISTING/PROPOSED	VARIANCE REQUIRED
LOT AREA	2 ACRE	5.103 ACRE	NONE
MIN BUILDING AREA:	30,000 SF	57,505.86 SF	NONE
ROAD/LOT FRONTAGE:	150'	0 FT	280A VARIANCE GRANTED 2010
FRONT YARD SETBACK:	50'	51.60 FT	NONE
REAR YARD SETBACK:	50'	81.64 FT	NONE
SIDE YARD SETBACKS:	40'	161.52 FT	NONE
HEIGHT OF STRUCTURE:	35'	25.1 FT	NONE
OPEN AREA:	75%	95.7 %	NONE
AREA OF DISTURBANCE:	SWPP REQUIRED IF MORE THAN 1 ACRE	.95 ARCE	NONE

PUTNAM VALLEY SITE SPECIFIC NOTES

1. THE GROSS SITE AREA EQUALS 5.103 ACRES.
2. TOTAL SITE DISTURBANCE EQUALS .95 ACRES.
3. ACCORDING TO THE TAX ASSESSOR, THE SUBJECT SITE CONSISTS OF THE FOLLOWING TAX PARCEL IDENTIFICATION NUMBERS: 82-2-43
4. SURVEY DATA SHOWN HEREON IS TAKEN FROM BUNNEY ASSOCIATES LAND SURVEYORS.
5. TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM BUNNEY ASSOCIATES LAND SURVEYORS
6. SOIL BOUNDARIES SHOWN HEREON ARE TAKEN FROM NATURAL RESOURCES CONSERVATION SERVICE.
7. THE SUBJECT SITE IS LOCATED IN THE R2 ZONE DISTRICT.
8. THE SUBJECT SITE IS LOCATED IN THE PUTNAM VALLEY SCHOOL DISTRICT.
9. THE SUBJECT SITE IS LOCATED IN THE HUDSON RIVER WATERSHED.

OWNER'S CERTIFICATION

THE UNDERSIGNED, OWNER OF THE PROPERTY SHOWN HEREON, IS FAMILIAR WITH THIS DRAWING, ITS CONTENTS AND LEGENDS, AND HEREBY APPROVES THE SAME FOR FILING.

OWNER: VLAD HANCU DATE:

OWNER: ALLISON HANCU DATE:
 OWNERS ADDRESS: PROJECT ADDRESS MAILING ADDRESS
 WILLIAMS DRIVE 711 86TH STREET
 SHRUB OAK, NY 10588 GLENDALE, NY 11385
 PLANNING BOARD APPROVAL

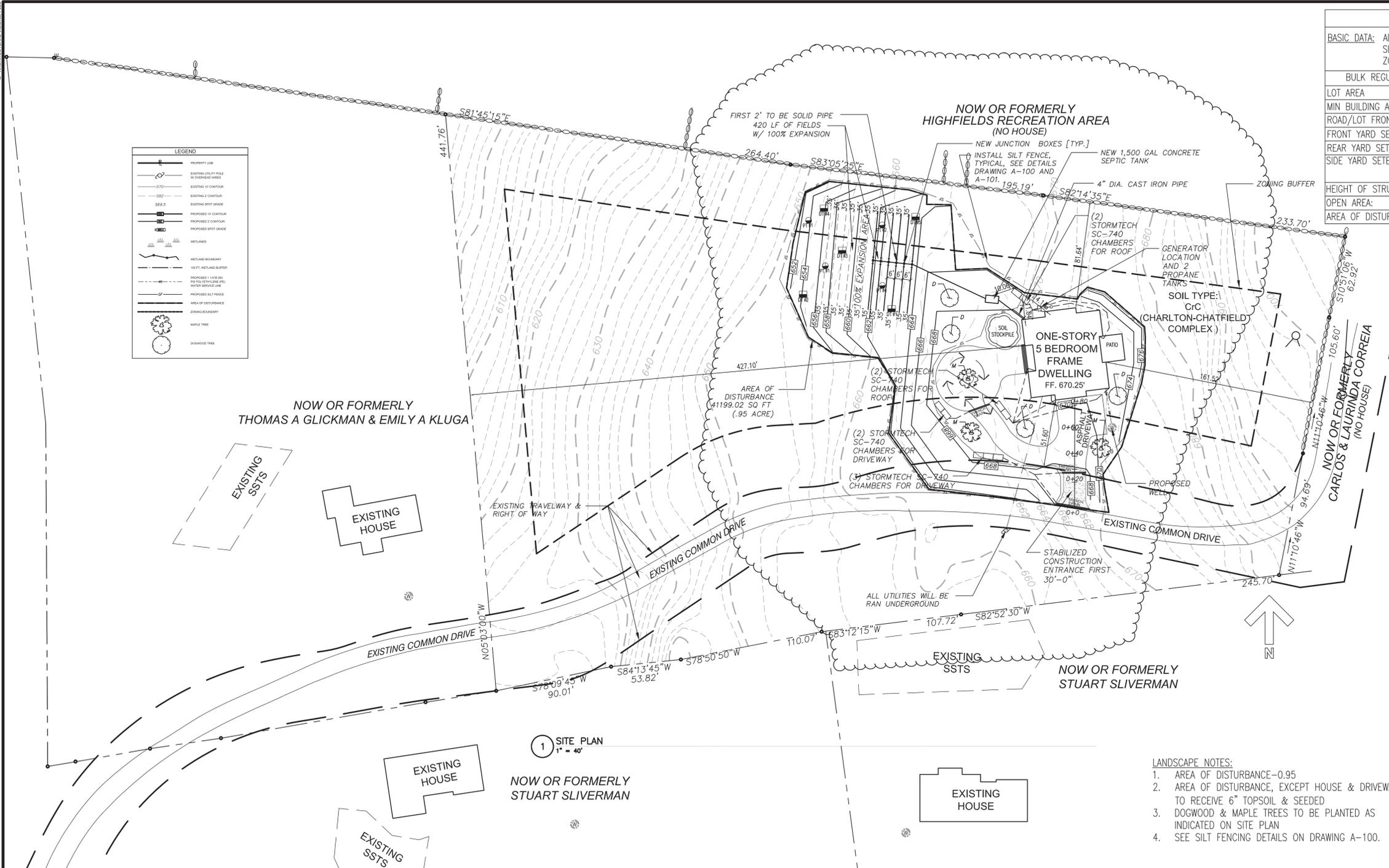
APPROVAL BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF PUTNAM VALLEY, PUTNAM COUNTY, BY RESOLUTION DATED ANY CHANGES, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____ 20____ BY:

PLANNING BOARD CHAIRMAN

LEGEND

	PROPERTY LINE
	METLAND BOUNDARY
	EXISTING 57.0 CONTOUR
	EXISTING 58.0 CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 57.0 CONTOUR
	PROPOSED 58.0 CONTOUR
	PROPOSED SPOT GRADE
	METLAND
	METLAND BOUNDARY
	10 FT. METLAND BUFFER
	PROPOSED 1.5 FT 200 PSI POLYETHYLENE PIPE WATER SERVICE LINE
	PROPOSED SILT FENCE
	AREA OF DISTURBANCE
	ZONING BOUNDARY
	MAPLE TREE
	DOGWOOD TREE



1 SITE PLAN
1" = 40'

LANDSCAPE NOTES:

1. AREA OF DISTURBANCE-0.95
2. AREA OF DISTURBANCE, EXCEPT HOUSE & DRIVEWAY TO RECEIVE 6" TOPSOIL & SEEDED
3. DOGWOOD & MAPLE TREES TO BE PLANTED AS INDICATED ON SITE PLAN
4. SEE SILT FENCING DETAILS ON DRAWING A-100.

SITE INSPECTION NOTES

1. PRIOR TO COMMENCEMENT OF WORK, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH THE APPLICANT, CONTRACTOR, BUILDING INSPECTOR, TOWN ENGINEER, TOWN PLANNER, AND OTHER RELEVANT PARTIES, AS DETERMINED NECESSARY. AT TIME OF INSPECTION, ALL EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE INSTALLED AND ALL TREES TO BE REMOVED SHALL BE MARKED WITH A BRIGHT COLORED SURVEYOR'S RIBBON.
2. ALL IMPROVEMENTS ARE SUBJECT TO INSPECTION BY THE TOWN AND ITS AGENTS WITHOUT NOTIFICATION DURING THE APPROVAL AND CONSTRUCTION PROCESS.
3. THE TOWN OF PUTNAM VALLEY STORMWATER MANAGEMENT OFFICER MAY REQUIRE SUCH INSPECTIONS AS NECESSARY TO DETERMINE COMPLIANCE WITH CHAPTER 102, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AND MAY EITHER APPROVE THE PORTION OF THE WORK COMPLETED OR NOTIFY THE OWNER/OPERATOR WHEREIN THE WORK FAILS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 102 AND THE APPROVED SWPPP. TO OBTAIN INSPECTIONS, THE OWNER/OPERATOR SHALL NOTIFY THE TOWN OF PUTNAM VALLEY ENFORCEMENT OFFICIAL AT LEAST 48 HOURS BEFORE ANY OF THE ITEMS IN THE SEQUENCE OF CONSTRUCTION.
4. IF COVERAGE UNDER GP-0-15-001 IS REQUIRED, THE OWNER/OPERATOR SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR AND THE QUALIFIED INSPECTOR SHALL CONDUCT A SITE INSPECTION AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTION REPORTS SHALL BE PROVIDED TO THE PLANNING BOARD AND BUILDING DEPARTMENT ON A WEEKLY BASIS AND A COPY OF EACH REPORT SHALL BE KEPT ON-SITE.

AS-BUILT SURVEY NOTES

1. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOUNDATION LOCATION SHALL BE SURVEY LOCATED (BY USE OF OFF-SETS) BY A NYS LICENSED LAND SURVEYOR AND SHALL CORRESPOND TO THE APPROVED PLANS; CORRESPONDENCE FROM THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT CERTIFYING THE SAME.
2. PRIOR TO FRAMING, AN AS-BUILT SURVEY OF THE FOUNDATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. THE SURVEY SHALL BE PREPARED BY A NYS LICENSED LAND SURVEYOR, SHALL INCLUDE ELEVATIONS AND PROPERTY LINE SETBACK DIMENSIONS TO DEMONSTRATE COMPLIANCE WITH THESE APPROVED PLANS, AND SHALL BE PREPARED TO THE SATISFACTION OF THE TOWN ENGINEER AND BUILDING INSPECTOR.
3. THE OWNER/OPERATOR SHALL SUBMIT AN AS-BUILT SURVEY OF ANY STORMWATER MANAGEMENT FACILITY LOCATED ON-SITE AFTER FINAL CONSTRUCTION IS COMPLETED. THIS SURVEY MUST SHOW THE FINAL DESIGN SPECIFICATION FOR ALL STORMWATER MANAGEMENT FACILITIES AND MUST BE CERTIFIED BY A NYS PROFESSIONAL ENGINEER.

SEQUENCE OF CONSTRUCTION:

1. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
2. COMPLETION OF SITE CLEARING.
3. EXCAVATION FOR POUR FOUNDATION
4. COMPLETION OF ROUGH GRADING.
5. CONSTRUCT HOUSE.
6. COMPLETION OF FINAL GRADING.
7. COMPLETION OF FINAL LANDSCAPING.
8. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.

PUTNAM VALLEY NOTES:

1. ALL IMPROVEMENTS MUST BE COMPLETED AS SHOWN ON THE APPROVED PLANS. ANY DEVIATION FROM THE APPROVED PLANS MUST BE APPROVED IN ACCORDANCE WITH SECTION 165-16C(2)(C) OR 165-21C(2)(C) OF THE TOWN CODE.
2. AT ALL TIMES THE OWNER/OPERATOR SHALL MAINTAIN ON-SITE A COPY OF THE PLANNING BOARD'S APPROVING RESOLUTION AND APPROVED PLANS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD.
3. THE TOWN OF PUTNAM VALLEY EMPLOYS THE SERVICES OF OUTSIDE PLANNING, ENGINEERING, WETLAND, AND OTHER CONSULTANTS AS NEEDED, IN THE REVIEW AND INSPECTION OF PLANNING BOARD APPLICATIONS. THE OWNER/OPERATOR IS REQUIRED AND HEREBY AGREES TO REIMBURSE THE TOWN FOR THE FEES OF SAID CONSULTANTS. AN ESCROW ACCOUNT WILL BE ESTABLISHED AND MAINTAINED FOR THE PAYMENT OF SUCH INSPECTION FEES. THE ACCOUNT WILL BE ESTABLISHED PRIOR TO COMMENCEMENT OF WORK AND SHALL BE MAINTAINED AND SUPPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION TO A DATE NO LESS THAN 60 DAYS AFTER ISSUANCE OF AN UNRESTRICTED CERTIFICATE OF OCCUPANCY. SHOULD THE ACCOUNT BALANCE BE EXHAUSTED, ALL WORK SHALL CEASE UNTIL THE ACCOUNT BALANCE IS SUPPLEMENTED TO ALLOW FOR FUTURE INSPECTIONS.
4. IF COVERAGE UNDER GP-0-20-001 IS REQUIRED, THE OWNER/OPERATOR SHALL MAINTAIN ON-SITE A COPY OF THE GENERAL PERMIT (GP-0-20-001), NOTICE OF INTENT (NOI), NOI ACKNOWLEDGEMENT LETTER, APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP), MS4 SWPPP ACCEPTANCE FORM, AND INSPECTION REPORTS PREPARED BY A QUALIFIED INSPECTOR.
5. IF AT ANY TIME DURING CONSTRUCTION THE CODE ENFORCEMENT OFFICER, PLANNING BOARD, OR ITS AGENTS DETERMINE THAT CONSTRUCTION IS NOT TAKING PLACE IN CONFORMANCE WITH THE APPROVED PLANS, A STOP WORK ORDER SHALL BE ISSUED BY THE CODE ENFORCEMENT OFFICER AND ALL WORK SHALL CEASE EXCEPT SUCH WORK APPROVED BY THE CODE ENFORCEMENT OFFICER AND/OR TOWN ENGINEER TO CORRECT EROSION AND SEDIMENT CONTROLS.
6. UNLESS OTHERWISE AUTHORIZED BY THE TOWN ENGINEER, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH CHAPTER 102, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, OF THE TOWN CODE AND THE LATEST EDITION OF THE "NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL."
7. UNLESS OTHERWISE AUTHORIZED BY THE TOWN ENGINEER, ALL STORMWATER MANAGEMENT PRACTICES SHALL BE DESIGNED TO COMPLY WITH CHAPTER 102, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, OF THE TOWN CODE AND THE LATEST EDITION OF THE "NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL."
8. PRIOR TO THE COMMENCEMENT OF WORK, ALL TREES TO BE REMOVED SHALL BE IDENTIFIED IN THE FIELD BY USE OF A BRIGHT COLORED SURVEYOR'S RIBBON. IF ANY TREES DESIGNATED ON THE TREE PLAN FOR PRESERVATION ARE REMOVED WITHOUT PLANNING BOARD APPROVAL, A STOP WORK ORDER SHALL BE ISSUED BY THE BUILDING INSPECTOR AND ALL WORK SHALL CEASE UNTIL A TREE REPLACEMENT PLAN, PREPARED IN CONFORMANCE WITH SECTION 165-21.1 OF THE ZONING CODE, HAS BEEN APPROVED BY THE PLANNING BOARD'S SATISFACTION.
9. PRIOR TO COMMENCEMENT OF WORK, THE LIMIT OF DISTURBANCE LINE, AS SHOWN ON THE APPROVED PLANS SHALL BE STAKED BY A LICENSED LAND SURVEYOR AND DELINEATED IN THE FIELD BY USE OF AN ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL. THE CONSTRUCTION FENCE SHALL REMAIN INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
10. PRIOR TO COMMENCEMENT OF WORK, THE OWNER SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE. THE OWNER IS RESPONSIBLE TO LOCATE AND PROTECT ALL ABOVE AND BELOW GROUND UTILITIES THROUGHOUT ALL PHASES OF CONSTRUCTION.
11. ELECTRICAL POWER, TELEPHONE, CABLE TELEVISION, AND OTHER SUCH UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. CONSTRUCTION ACTIVITIES SHALL ONLY TAKE PLACE BETWEEN THE HOURS OF 8:00 A.M. AND 8:00 P.M. ON WEEKDAYS AND 9:00 A.M. AND 7:00 P.M. ON WEEKENDS AND HOLIDAYS.
13. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER 82-5C, NOISE, OF THE TOWN CODE.
14. UNLESS AUTHORIZED BY THE PLANNING BOARD, BLASTING IS PROHIBITED.
15. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE ACCEPTANCE OF LAND AREAS DESIGNATED FOR DEDICATION TO THE TOWN OF PUTNAM VALLEY, IF ANY.

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.

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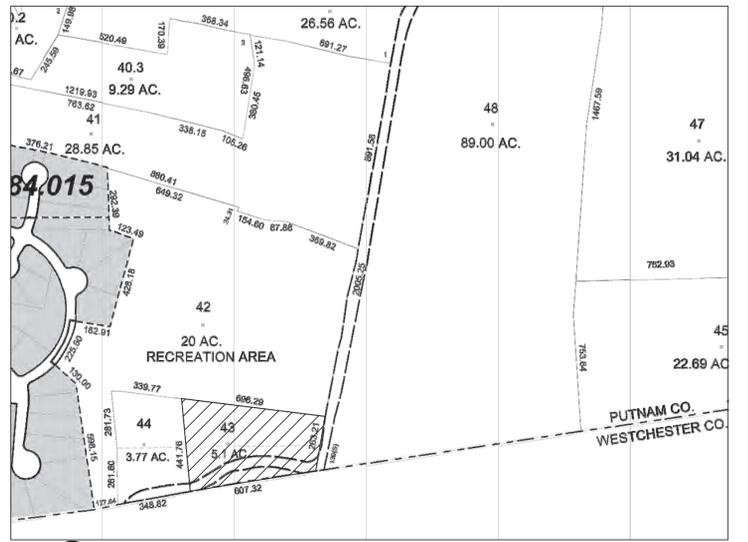
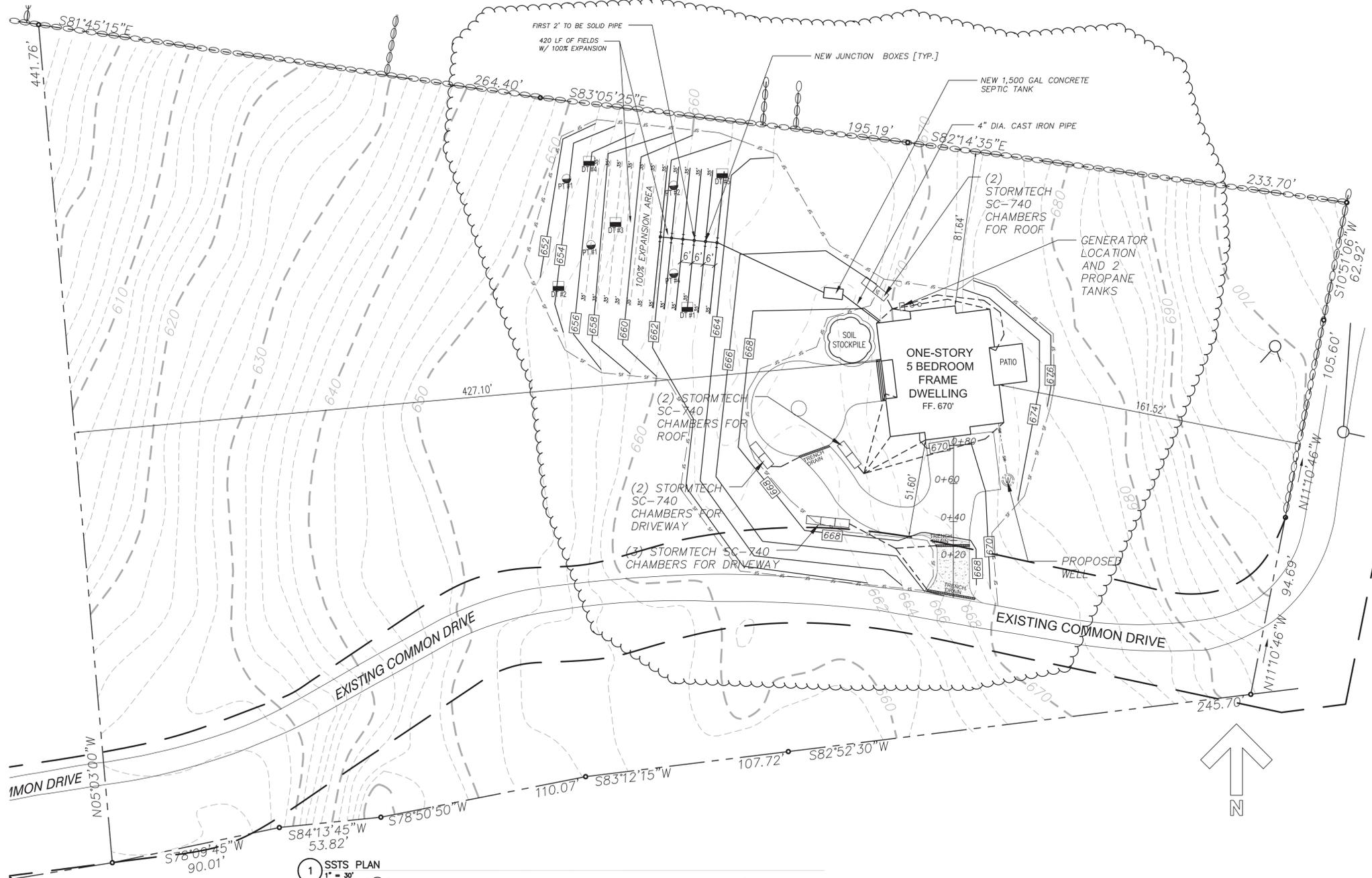
PROJECT: HANCU
 PROJECT ADDRESS: WILLIAMS DRIVE SHRUB OAK, NY 10588
 MAILING ADDRESS: 711 86TH STREET GLENDALE, NY 11385
 TAX MAP NO. 84-2-43

SITE, AREA OF DISTURBANCE & LANDSCAPE PLAN

ISSUANCE: 03/09/2020
 FOR REVIEW: 03/09/2020
 FOR REVIEW: 03/09/2020
 FOR REVIEW: 03/09/2020
 FOR REVIEW: 03/09/2020

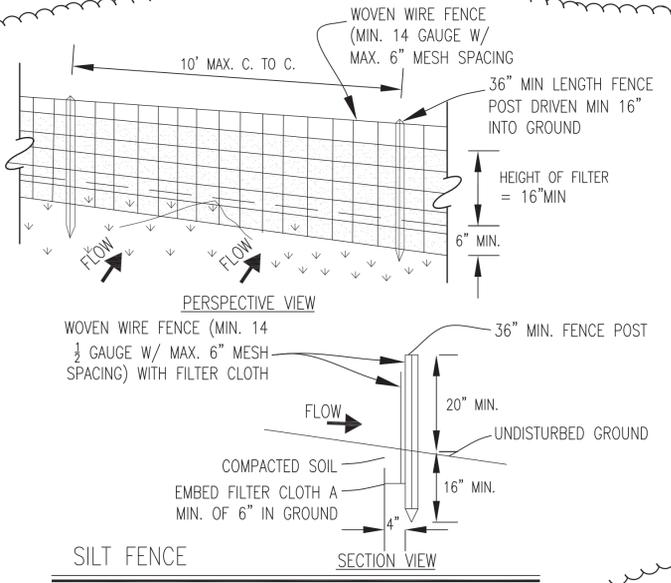
SCALE AS NOTED
 DRAWN BY: CHKD BY: ML / MLSJLG
 PROJECT NO. 04-19-056

G-100



- GENERAL SSTS NOTES:**
1. ALL TREES WITHIN 10 FEET OF THE PROPOSED SUBSURFACE SEWAGE TREATMENT SYSTEM (SSTS) SHALL BE REMOVED.
 2. SSTS TO BE INSPECTED BY THE LICENSED DESIGN PROFESSIONAL AND THE PUTNAM COUNTY HEALTH DEPARTMENT AFTER CONSTRUCTION AND PRIOR TO BACKFILL.
 3. THE SSTS AREA SHALL BE STAKED AND ROPED OFF SO THAT NO TRUCKS, MACHINERY, BUILDING MATERIALS, NOR EXCAVATED EARTH SHALL BE ALLOWED IN THE SSTS AREA.
 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION AND MUST BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND STABILIZATION HAS OCCURRED.
 5. CONSTRUCTION OF SSTS TO BE IN ACCORDANCE WITH THESE PLANS, ANY REVISIONS THERETO, AND THE RULES AND REGULATIONS OF THE PERMIT ISSUING GOVERNMENTAL AGENCY.
 6. THE WELL IS TO BE A DRILLED WELL, CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE HEALTH DEPARTMENT 10 NYCRR APPENDIX 5B, STANDARDS FOR WATER WELLS, PUMP TESTED FOR A MINIMUM OF 6 HOURS AND HAVE A MINIMUM SAFE YIELD OF 5 GPM. YIELDS LESS THAN 5 GPM WILL BE IMMEDIATELY REPORTED TO THE PUTNAM COUNTY DEPARTMENT OF HEALTH.
 7. THE SSTS DESIGN SHOWN HEREON DOES NOT PROVIDE FOR INSTALLATION OF A GARBAGE GRINDER. SUCH INSTALLATION REQUIRED ADDITIONAL DESIGN AND THE APPROVAL OF THE PUTNAM COUNTY DEPARTMENT OF HEALTH.
 8. PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL IS BASED ON THE LOCATION OF THE SSTS, WELL, BUILDING, SETBACKS, AND DRIVEWAYS AS SHOWN ON THE APPROVED DRAWING. MODIFICATIONS ARE TO HAVE PRIOR PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL. UNAUTHORIZED MODIFICATIONS MADE TO THIS DRAWING AFTER THE DATE OF PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL VOIDS SAID APPROVAL.
 9. ALL STONEWALLS IN AND WITHIN 10 FEET OF THE SSTS AREA SHALL BE REMOVED TO THEIR ENTIRE DEPTH AND THE RESULTING VOID REPLACED WITH SIMILAR ON SITE SOIL.
 10. CUT OR FILL IS NOT PERMITTED IN THE SSTS AREA, EXCEPT IF SO SPECIFIED ON THIS PLAN.
 11. AFTER BACKFILLING THE SYSTEM, THE SSTS AREA SHALL BE COVERED WITH A MINIMUM OF 6 INCHES OF TOP SOIL, SEEDED, AND MULCHED.
 12. OCCUPANCY OF THIS STRUCTURE WILL NOT BE PERMITTED UNTIL THE CONSTRUCTION COMPLIANCE APPLICATION HAS BEEN RECEIVED AND APPROVED BY THE PUTNAM COUNTY HEALTH DEPARTMENT AND FORWARDED TO THE BUILDING INSPECTOR OF THE RESPECTIVE MUNICIPALITY AS PART OF THE CERTIFICATE OF OCCUPANCY COMPLIANCE.
 13. THIS PLAN IS APPROVED FOR SEWAGE TREATMENT AND/OR WATER SUPPLY ONLY, AND ALL OTHER REQUIRED PERMITS AND/OR APPROVALS ARE THE RESPONSIBILITY OF THE PERMITTEE.
 14. THE PUTNAM COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES TWO (2) YEARS FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
 15. A COPY OF THE HOUSE PLANS SUBMITTED TO THE BUILDING INSPECTOR OF THE LOCAL MUNICIPALITY, WHEN FILING FOR A BUILDING PERMIT, MUST BE SUBMITTED TO THE PUTNAM COUNTY HEALTH DEPARTMENT TO VERIFY THE BEDROOM COUNT.
 16. THE HOUSE, WELL AND SSTS SHALL BE SURVEY LOCATED AND STAKED BY NYS LICENSED SURVEYOR PRIOR TO CONSTRUCTION.
 17. FOR ALL SSTS'S WHICH ARE SUBJECT TO JOINT REVIEW AND APPROVAL WITH NYCDPE THE DESIGN PROFESSIONAL IS TO NOTIFY PCHD AND NYCDPE AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF THE SSTS CONSTRUCTION.

1 SSTS PLAN
1" = 30'



CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

APPROVED BY
PUTNAM COUNTY DEPARTMENT OF HEALTH DIVISION
OF ENVIRONMENTAL HEALTH SERVICES
ON 09/18/2019

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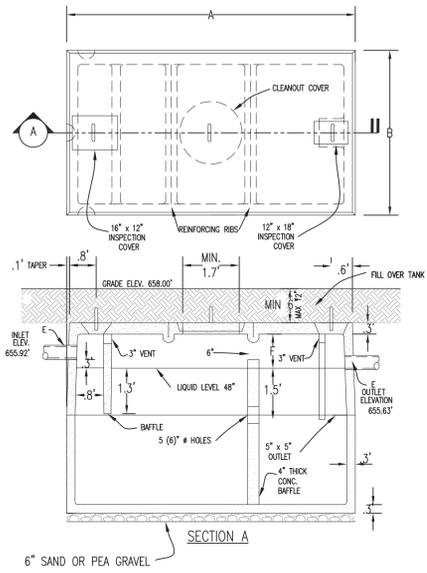
PROJECT: HANCU
PROJECT ADDRESS: WILLIAMS DRIVE, SHRUB OAK NY 10568, TOWN OF PUTNAM VALLEY, TAX MAP NO. 84-2-43
MAILING ADDRESS: VLAD & ALLISON HANCU, 711 68TH STREET, GLENDALE, NY 11385

SSTS PLAN

ISSUANCE	DATE
FOR REVIEW	07/2019
REVISION	09/2019



SCALE AS NOTED
DRAWN BY/CHKD BY: ML / MLSJLG
PROJECT NO. 04-19-056
AS-100

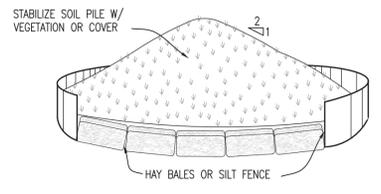


SEPTIC TANK SPECIFICATIONS & CAPACITIES

LIQUID CAPACITY	A	B	C	D	E	F	
1500	10'-6"	5'-8"	4'-6"	4'-9"	5'-7"	6'-0"	
	LENGTH	WIDTH	INVERT	HC-10 HC-20	HEIGHT	HC-10 HC-20	INLET/OUTLET
							AIR

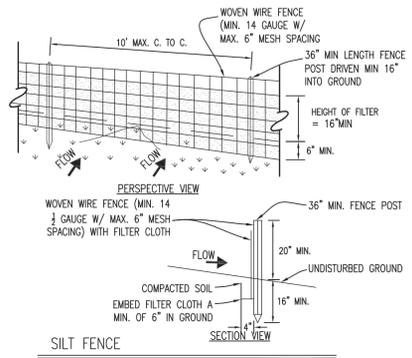
SEPTIC TANK

NOT TO SCALE



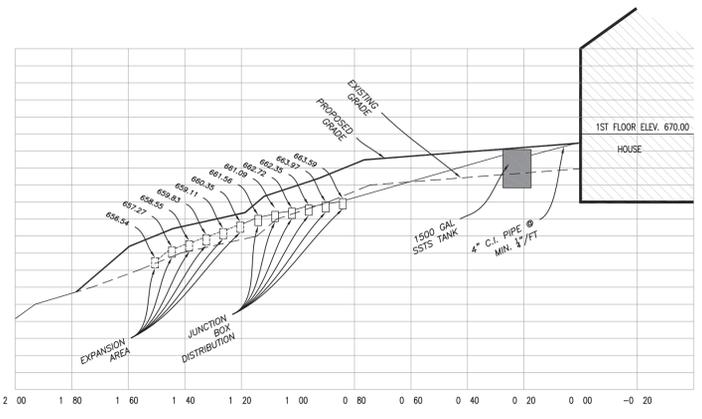
SOIL STOCKPILING DETAIL

- NOT TO SCALE
- NOTES:**
1. AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE SAFE AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF STOCKPILE, EACH PILE SHALL BE STABILIZED WITH EITHER SILT FENCE OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.



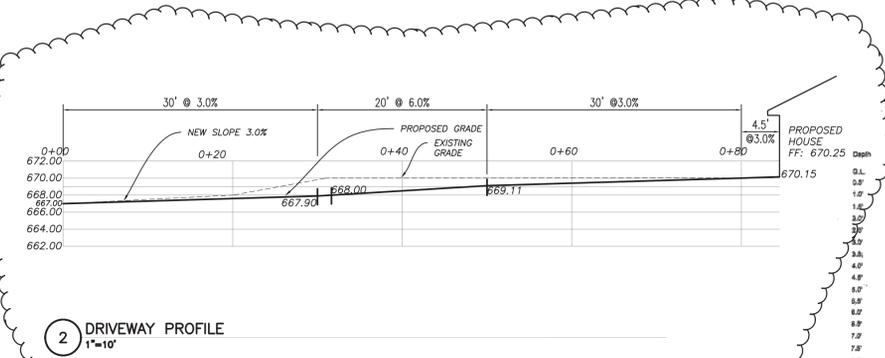
SILT FENCE

- NOT TO SCALE
- CONSTRUCTION SPECIFICATIONS:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WIRE TIES OR STAPLES, POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION, FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED, FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOFAS, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



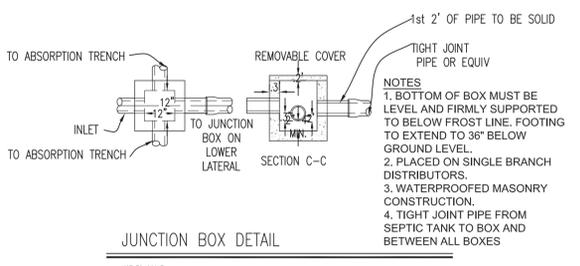
SSTS PROFILE

HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'



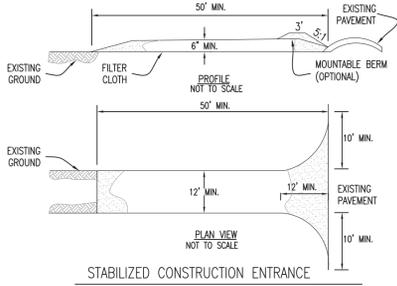
DRIVEWAY PROFILE

1" = 10'



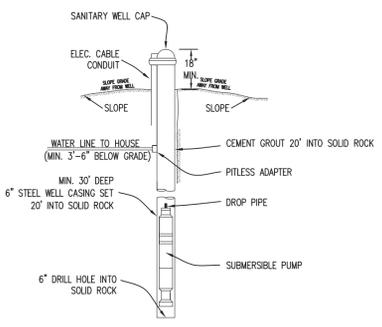
JUNCTION BOX DETAIL

- NOT TO SCALE
- NOTES:**
1. DO NOT INSTALL TRENCHES IN WET SOIL.
 2. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL.
 3. END OF ALL DISTRIBUTOR PIPES MUST BE PLUGGED UNLESS INTERCONNECTED.
 4. ALL ABSORPTION TRENCHES PIPES THAT ARE PART OF A GRAVITY SYSTEM ARE TO BE SLOPED 1/16 TO 1/32 INCH PER FOOT.
 5. ALL ABSORPTION TRENCHES PIPES THAT ARE PART OF A BOSSED SYSTEM ARE TO BE INSTALLED LEVEL.



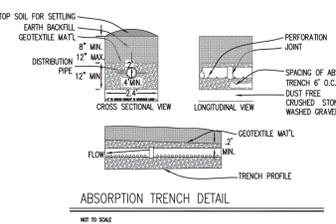
STABILIZED CONSTRUCTION ENTRANCE

- NOT TO SCALE
- CONSTRUCTION SPECIFICATIONS:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IS SINGLE ENTRANCE TO SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



TYPICAL WELL DETAIL

NOT TO SCALE



ABSORPTION TRENCH DETAIL

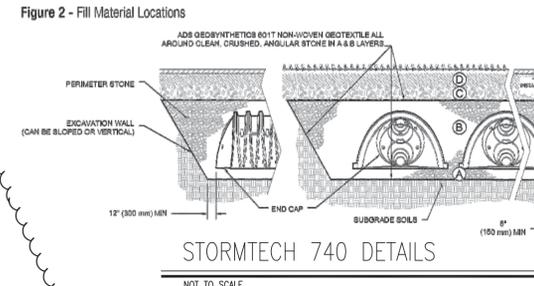
NOT TO SCALE

Table 1 - Acceptable Fill Materials

Material Location	Description	ASTM/AASHTO Designation	Compaction Density Requirement
Final Fill	Final Fill Material for layer "D" starts from the top of the "C" layer to the bottom of the base pavement or compacted final grade above. Note that the placement subsurface may be part of the "D" layer.	N/A	Prepare per site design engineer's plans. Paved installations may have stringent material and preparation requirements.
Initial Fill	Initial Fill Material for layer "C" starts from the top of the embankment stone (5' layer) to 18" (450 mm) above the top of the chamber. Note that placement subsurface materials can be used in lieu of this layer.	AASHTO M45 A-1-A-4-A-3 or AASHTO M41 3, 3S7, 4, 4S7, 5, 5S, 57, 6, 67, 6S, 7, 7S, 8, 8S, 9, 10	Begin compaction after min. 12" (300 mm) of material over the distributor is reached. Compact additional layers in 6" (150 mm) max. lifts to a min. 95% Proctor density for well-graded material and 95% relative density for processed aggregate material. Daily gross weight not to exceed 12,000 lbs (53 kN). Dynamic loads not to exceed 20,000 lbs (89 kN).
Embankment Stone	Embankment Stone surrounding chambers from the foundation stone to the "C" layer above.	AASHTO M43 3, 3S7, 4, 4S7, 5, 5S, 57	No compaction required.
Foundation Stone	Foundation Stone below the chambers from the aggregate up to the top of the chamber.	AASHTO M43 3, 3S7, 4, 4S7, 5, 5S, 57	Place and compact in 6" (150 mm) lifts using full lift coverage with a vibratory compactor.

PLEASE NOTE:

1. The listed AASHTO designations are for gradations only. The stone must also be clean, crushed, angular. For example, a specification for #4 stone would state: "clean, crushed, angular no. 4 (AASHTO M43) stone".
2. StormTech compaction requirements are met for 1/4" location materials when placed and compacted in 6" (150 mm) (max) lifts using two full coverage with a vibratory compactor.
3. Where infiltration surfaces may be comprised by compaction, for standard installations and standard design load conditions, a flat surface may be achieved by raking or dragging without compaction equipment. For special load designs, contact StormTech for compaction requirements.



STORMTECH 740 DETAILS

NOT TO SCALE

PUTNAM COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH SERVICES
DESIGN DATA SHEET - SUBSURFACE SEWAGE TREATMENT SYSTEM

Owner: Vlad & Allison Hancu
Address: Williams Drive
Located at (street): Williams Drive
Township: Putnam Valley
Municipality: Putnam Valley

Address: Williams Drive
TMS #: 84, Block 2 Lot 43
Watershed: Hudson River

SOIL PERCOLATION TEST DATA

Date of Pre-soaking: 7/18/19
Date of Percolation Test: 7/18/19

Hole No.	Hole Depth (feet)	Run No.	Time Start - Stop	Elapsed Time (min)	Depth to water from ground surface (feet)	Water level drop in inches	Percolation Rate ml/inch
1	1	1	9:00 - 9:27	27	24" - 27"	3"	27/3 = 9
		2	9:28 - 9:56	28	24" - 27"	3"	28/3 = 9.33
		3	9:57 - 10:25	28	24" - 27"	3"	28/3 = 9.33
		4					
2	1	1	9:05 - 9:33	28	24" - 27"	3"	28/3 = 9.33
		2	9:34 - 10:03	29	24" - 27"	3"	29/3 = 9.66
		3	10:04 - 10:33	29	24" - 27"	3"	29/3 = 9.66
		4					
3	1	1	9:08 - 9:35	27	24" - 27"	3"	27/3 = 9.00
		2	9:36 - 10:04	28	24" - 27"	3"	28/3 = 9.33
		3	10:05 - 10:34	28	24" - 27"	3"	28/3 = 9.33
		4					
4	1	1	9:10 - 9:38	28	24" - 27"	3"	28/3 = 9.33
		2	9:39 - 10:07	28	24" - 27"	3"	28/3 = 9.33
		3	10:08 - 10:36	28	24" - 27"	3"	28/3 = 9.33
		4					

Notes:

1. Tests to be repeated at same depth until approximately equal percolation rates are obtained at each percolation test hole. (i.e., ≤ 1 min for 1-30 min/inch, ≤ 2 min for 31-60 min/inch). All data to be submitted for review.
2. Depth measurements to be made from top of hole.

Form DD-07, pg 1 of 2

Test Pit Data

Description of Soils Encountered in Test Holes

Hole No.	Soil No.	Soil Description	Soil No.	Soil Description	Soil No.	Soil Description
1	1	0-1' Topsoil	2	1'-2' Topsoil	3	2'-3' Topsoil
	4	3'-4' Topsoil	5	4'-5' Topsoil	6	5'-6' Topsoil
	7	6'-7' Topsoil	8	7'-8' Topsoil	9	8'-9' Topsoil
	10	9'-10' Topsoil	11	10'-11' Topsoil	12	11'-12' Topsoil
	13	12'-13' Topsoil	14	13'-14' Topsoil	15	14'-15' Topsoil
	16	15'-16' Topsoil	17	16'-17' Topsoil	18	17'-18' Topsoil
	19	18'-19' Topsoil	20	19'-20' Topsoil	21	20'-21' Topsoil
	22	21'-22' Topsoil	23	22'-23' Topsoil	24	23'-24' Topsoil
	25	24'-25' Topsoil	26	25'-26' Topsoil	27	26'-27' Topsoil
	28	27'-28' Topsoil	29	28'-29' Topsoil	30	29'-30' Topsoil

Indicate level at which groundwater is encountered: 30.0 ft @ 10' depth @ 10' depth
Indicate level at which meeting is observed: None
Indicate level at which water level after rainfall was encountered: None
Deep Point Observation made by: Joe Greenberg

Design Professional Name: Joe Greenberg, Architectural Visions, P.L.L.C.
Address: 2 Muscote Road North, Mahopac, NY 10541
Signature: Joe Greenberg
Date: 4/18/2019

ARCHITECTURAL VISIONS, P.L.L.C.
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PROJECT: HANCU

PROJECT ADDRESS: WILLIAMS DRIVE, SHURBOK CAK, NY 10588, TOWN OF PUTNAM VALLEY, TAX MAP NO. 84-2-43

MAILING ADDRESS: VLAD & ALLISON HANCU, 711 68TH STREET, GLENDALE, NY 11385

SSTS & DRAINAGE DETAILS

ISSUANCE

DATE	DESCRIPTION
06/03/19	ISSUED FOR PERMIT
06/03/19	ISSUED FOR PERMIT
07/17/2019	ISSUED FOR PERMIT
06/03/2019	ISSUED FOR PERMIT

SCALE: AS NOTED

DRAWN BY: CHKD BY: ML / MJS/JLG

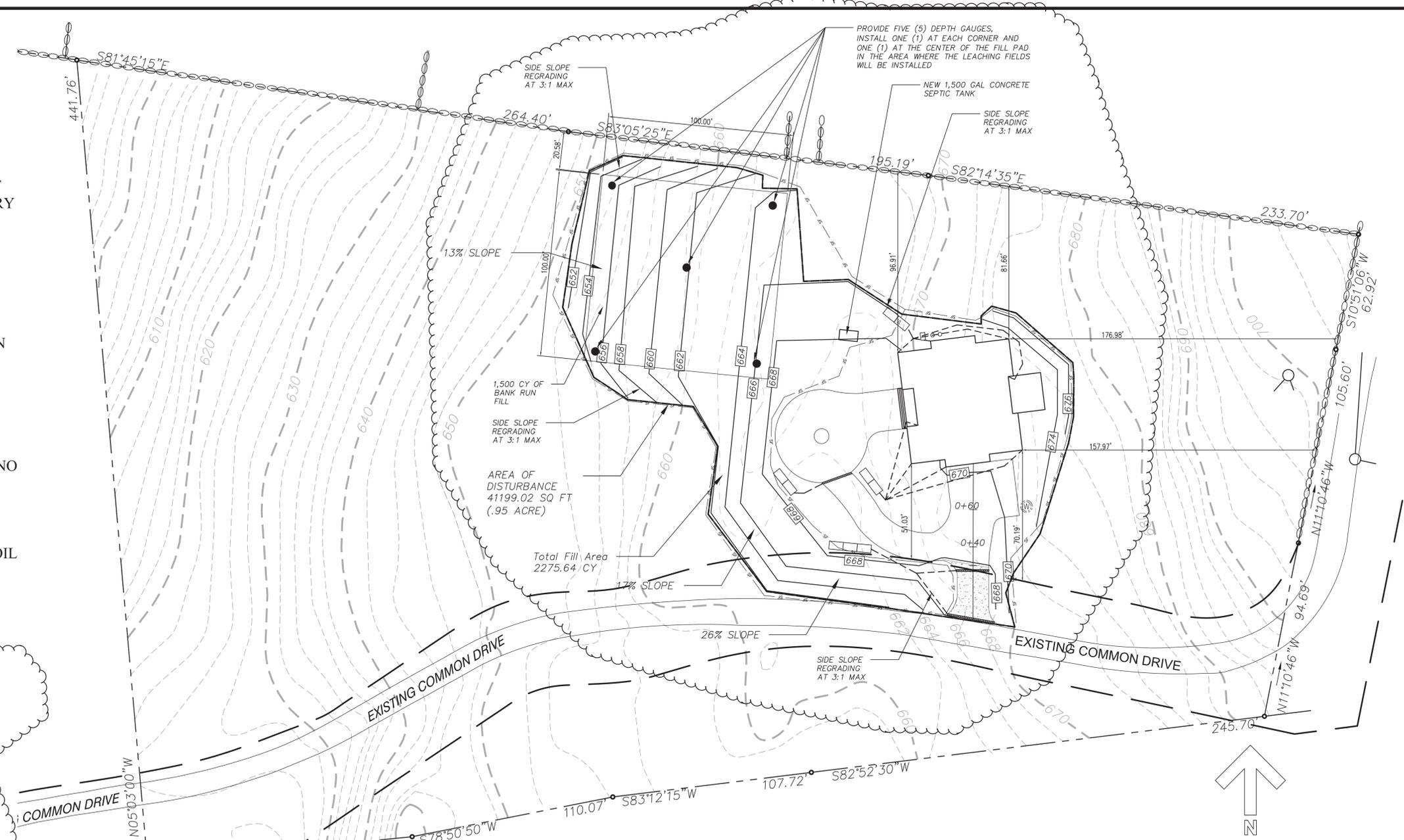
PROJECT NO. 04-19-006

AS-101

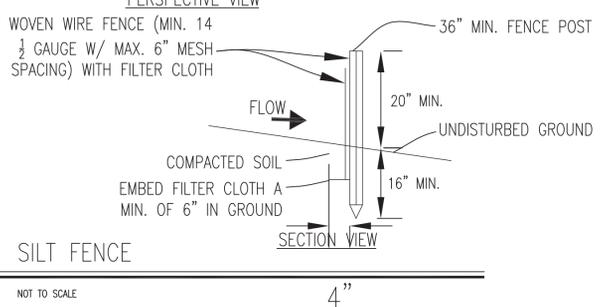
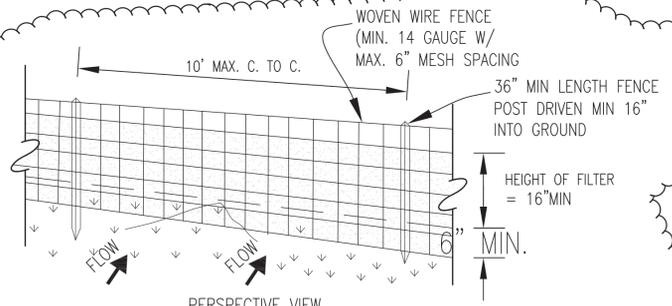
ARCHITECTURAL VISIONS, PLLC

GENERAL NOTES

1. FILL MUST BE STABILIZED BY ALLOWING THE FILL MATERIAL TO SETTLE NATURALLY FOR A PERIOD OF AT LEAST 6 MONTHS AND INCLUDE AT LEAST ONE (1) FREEZE-THAW CYCLE OR FILL STABILIZATION MAY BE ACHIEVED BY MECHANICAL COMPACTING IN APPROXIMATELY 6 INCH LIFTS TO THE APPROXIMATE DENSITY OF THE UNDISTURBED UNDERLYING SOIL.
2. SITE MODIFICATION ACTIVITIES INVOLVING PLACEMENT OF FILL ARE TO BE CONDUCTED DURING RELATIVELY DRY PERIODS TO MINIMIZE SOIL SMEARING AND EXCESSIVE SOIL COMPACTING.
3. THE REQUIRED DEPTH OF FILL WITHIN THE SEWAGE TREATMENT SYSTEM AREA IS 2 TO 3.5 FEET, WHICH APPROXIMATES TO 1100 CUBIC YARDS. FILL SHALL BE RUN OF BANK GRAVEL SUITABLE FOR SEWAGE ABSORPTION, BE FREE OF FINES OR OTHER UNSUITABLE MATERIAL AND SHALL HAVE AN IN-PLACE PERCOLATION RATE AT LEAST EQUAL TO OR FASTER THAN THE NATURAL UNDERLYING SOIL AFTER THE REQUIRED STABILIZATION PERIOD. THE DESIGN PROFESSIONAL SHALL PERFORM A MINIMUM OF TWO (2) PERCOLATION TESTS IN THE FILL AFTER STABILIZATION IS ACHIEVED.
4. FILL SUITABLE FOR SEWAGE ABSORPTION SHOULD CONTAIN NO MORE THAN 5 PERCENT AND PREFERABLY NO MORE THAN 2 PERCENT FINES BY WEIGHT. FINES ARE CLAY AND SILT PARTICLES THAT PASS A #200 SIEVE. NO MORE THAN 10 PERCENT BY WEIGHT OF THE FILL MATERIAL SHOULD PASS A #100 SIEVE.
5. THE IMPERVIOUS FILL, SHALL BE A DENSE CLAY TYPE SOIL WITH LITTLE OR NO SEWAGE ABSORPTION CAPACITY.
6. ALL FILL TO BE CERTIFIED AND INSPECTED BY THE PUTNAM COUNTY HEALTH DEPARTMENT



1 SSTS FILL PLAN
1" = 30'

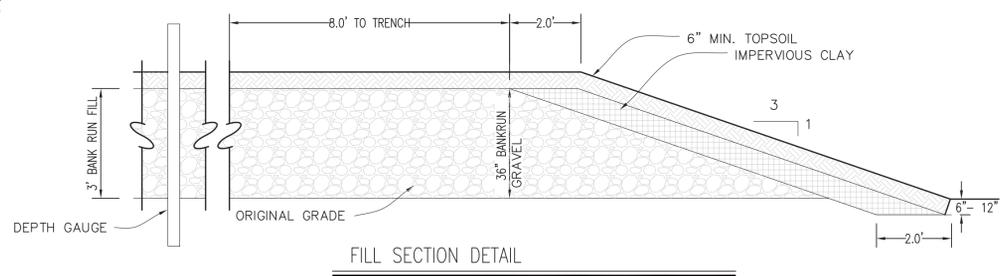


SILT FENCE

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

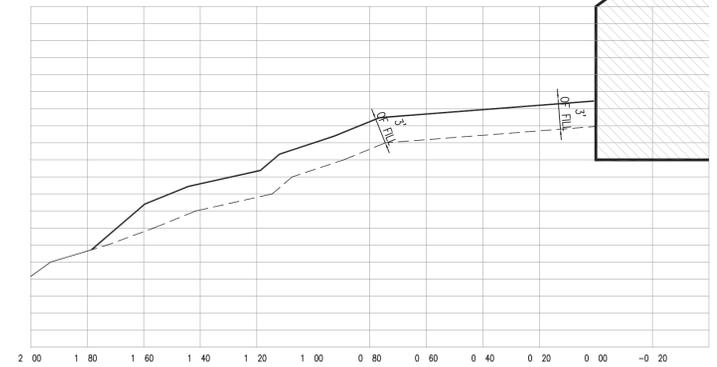


FILL SECTION DETAIL

NOT TO SCALE

THE DESIGN PROFESSIONAL HAS INSPECTED THE ROB FILL MATERIAL ON 7/18/2019 AND DOES HEREBY CERTIFY THAT SUCH MATERIAL HAS BEEN PLACED AND STABILIZED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NYS DEPARTMENT OF HEALTH, THE PUTNAM COUNTY DEPARTMENT OF HEALTH AND THE APPROVED FILL PLAN. THE MATERIAL ITSELF HAS BEEN TESTED AND AT THIS TIME IS CONSIDERED SUITABLE FOR USE IN A SUBSURFACE SEWAGE TREATMENT SYSTEM. THE SOIL PERCOLATION RATE IN THE SETTLED FILLED BASED ON PERCOLATION TESTS AFTER STABILIZATION IS 8-10. MIN/INCH.

SIGNED: _____



FILL SECTION PROFILE

HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'

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PROJECT ADDRESS: WILLIAMS DRIVE SHRUB OAK, NY 10588
MAILING ADDRESS: VLAD & ALLISON HANCU 711 68TH STREET GLENDALE, NY 11385
TAX MAP NO. 84-2-43

PLAN FOR FILL PLACEMENT ONLY

ISSUANCE	
DATE	DESCRIPTION
01/15/2019	01/15/2019
02/15/2019	02/15/2019
03/15/2019	03/15/2019
04/15/2019	04/15/2019
05/15/2019	05/15/2019
06/15/2019	06/15/2019
07/15/2019	07/15/2019
08/15/2019	08/15/2019
09/15/2019	09/15/2019
10/15/2019	10/15/2019
11/15/2019	11/15/2019
12/15/2019	12/15/2019

REGISTERED ARCHITECT
JOEL GREENBERG
011058
STATE OF NEW YORK

SCALE AS NOTED
DRAWN BY: CHKD BY: ML / MLSJLJ
PROJECT NO. 04-19-056
AS-102



TREE LEGEND

- MA- MAPLE
- OA- OAK
- BB- BLACK BIRCH
- LO - LOCUST
- DG-DOGWOOD

NOTE: ALL TREES WITHIN THE LIMITS OF DISTURBANCE ARE TO BE REMOVED.

1 INITIAL TREE REMOVAL PLAN— 48 TREES TO BE REMOVED
1" = 40'

1 FINAL TREE REMOVAL PLAN—SHADED AREA INTIAL REMOVAL—94 TREES
1" = 40'

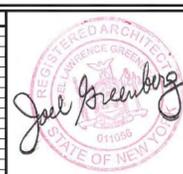
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PROJECT:
HANCU
PROJECT ADDRESS: WILLIAMS DRIVE, SHRUB OAK, NY 10588
MAILING ADDRESS: VLAD & ALLISON HANCU, 711 68TH STREET, GLENDALE, NY 11385
TAX MAP NO. 84-2-43

TREE REMOVAL PLANS INITIAL & FINAL

ISSUANCE
DATE REVIEWED: 02/09/2020
REVISIONS: 02/10/2020
REVISIONS: 02/17/2020
REVISIONS: 02/03/2020



SCALE AS NOTED
DRAWN BY: CHKD BY: ML / JMS:JLG
PROJECT NO. 04-19-056

AS-103

